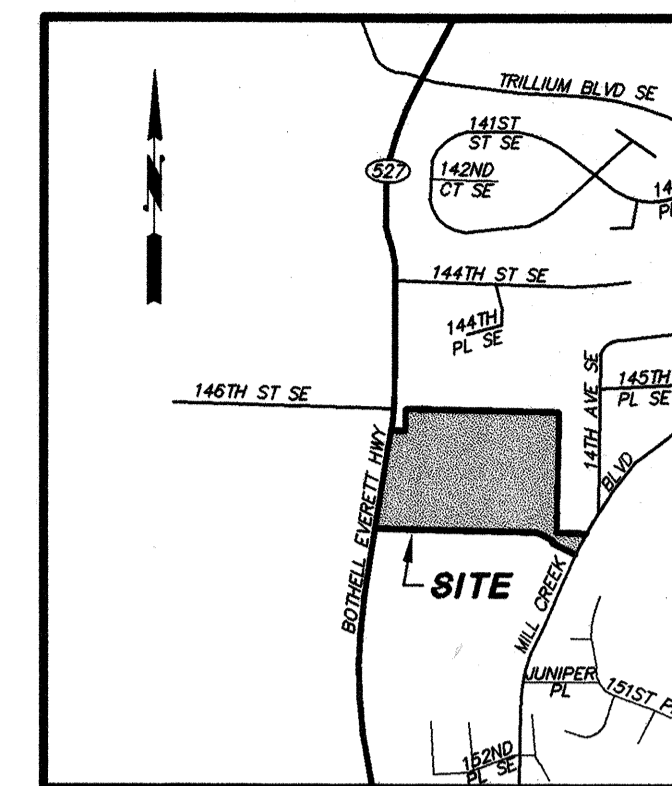


# THE VINEYARDS AT MILL CREEK



VICINITY MAP

NOT TO SCALE

**CONTACT LIST**

**OWNER/DEVELOPER:** STAFFORD HOMES  
12931 NE 126th PLACE  
KIRKLAND, WASHINGTON 98034  
(425) 821-3400  
CONTACT: BOB STOKKE

**ENGINEER:** PETERSON CONSULTING ENGINEERS, INC.  
4030 LAKE WASHINGTON BLVD NE SUITE 200  
KIRKLAND, WASHINGTON 98033  
(425) 827-5874  
CONTACT: JENNIFER STEIG, P.E.

**SURVEYORS:**  
PRELIMINARY PLAT: MEAD GILMAN & ASSOC.  
P.O. BOX 289  
WOODINVILLE, WASHINGTON 98072  
(425) 486-1252

**BOUNDARY & TOPO:** EASTSIDE CONSULTANTS, INC.  
415 RAINIER BLVD. N.  
ISSAQUAH, WASHINGTON 98027  
(206) 392-5351

**BENCHMARKS AND DATUM**

**VERTICAL DATUM:** NAVD 1929, TBM 353-619 PK NAIL AS SHOWN ON THE PROPOSED PLAT OF MERRILL GARDENS AT MILL CREEK.

**BASIS OF BEARING:** HOLDING THE EAST PROPERTY LINE TO A BEARING OF N12°24'49"E AS SHOWN ON THE PLAT OF MILL CREEK No.9, AS FILED UNDER RECORDING No. 8210085008.

**LEGAL DESCRIPTION**

**PARCEL A:**  
THAT PORTION OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M. IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE QUARTER CORNER ON THE SOUTH LINE OF SAID SECTION;  
THENCE NORTH ALONG THE NORTH AND SOUTH CENTERLINE OF SAID SECTION 544 FEET;  
THENCE WEST 103.34 FEET, MORE OR LESS TO CENTERLINE OF PACIFIC HIGHWAY (ALSO KNOWN AS SR 527);  
THENCE SOUTHERLY ALONG SAID HIGHWAY 316.7 FEET, MORE OR LESS TO AN INTERSECTION WITH THE CENTERLINE OF THE OLD BOTHELL ROAD;  
THENCE ANGLE LEFT ALONG SAID ROAD 240 FEET, MORE OR LESS TO THE SOUTH LINE OF SECTION;  
THENCE EAST ALONG THE SOUTH LINE OF SECTION, 98.90 FEET, MORE OR LESS TO THE PLACE OF BEGINNING;  
EXCEPT ANY PORTION THEREOF LYING WITH ROADS KNOWN AS SR 527 AND OLD BOTHELL ROAD.

**PARCEL B:**  
THAT PORTION OF THE WEST 25 ACRES OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 31;  
THENCE NORTH 534 FEET ON THE NORTH AND SOUTH CENTERLINE OF SAID SECTION;  
THENCE EAST 825 FEET, MORE OR LESS TO THE EAST LINE OF THE WEST 25 ACRES OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER;  
THENCE SOUTH 534 FEET TO THE SOUTH LINE OF SAID SECTION 31;  
THENCE WEST ALONG SAID SOUTH LINE TO POINT OF BEGINNING;  
EXCEPT THE SOUTH 30 FEET AND THE WEST 30 FEET THEREOF CONVEYED TO SNOHOMISH COUNTY FOR ROAD UNDER RECORDING NO. 181314.

**PARCEL C:**  
THE SOUTH 100 FEET OF THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 31, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE QUARTER CORNER OF THE SOUTH LINE OF SAID SECTION;  
THENCE NORTH 544 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE NORTH 242 FEET;  
THENCE WEST 37 FEET, MORE OR LESS, TO THE EASTERLY MARGIN OF THE PACIFIC HIGHWAY;  
THENCE SOUTHERLY ALONG THE EASTERLY MARGIN OF THE PACIFIC HIGHWAY TO A POINT DUE WEST OF THE POINT OF BEGINNING;  
THENCE EAST 73.34 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING;  
EXCEPT THAT PORTION THEREOF CONVEYED TO THE STATE OF WASHINGTON FOR WIDENING OF STATE ROUTE 527 BY DEED RECORDED UNDER RECORDING NO. 199908310333.

**PARCEL D, E & F:**  
THAT PORTION OF THE WEST 25 ACRES OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 31;  
THENCE NORTH 534 FEET ON THE NORTH AND SOUTH CENTERLINE OF SAID SECTION TO THE TRUE POINT OF BEGINNING;  
THENCE EAST 825 FEET, MORE OR LESS, TO THE EAST LINE OF SAID 25 ACRE TRACT;  
THENCE NORTH 252 FEET;  
THENCE WEST 625 FEET, MORE OR LESS, TO THE NORTH AND SOUTH CENTERLINE OF SAID SECTION;  
THENCE SOUTH 252 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING;  
EXCEPT THE WEST 50 FEET OF THE NORTH 142 FEET THEREOF;  
ALSO EXCEPT ROADS.

**PARCEL G:**  
THAT PORTION OF TRACT 2 OF MILL CREEK - 21, ACCORDING TO PLAT RECORDED IN VOLUME 63 OF PLATS AT PAGE(S) 222 AND 223 UNDER RECORDING NO. 9705015002, IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT 2;  
THENCE SOUTH 26°38'52" WEST ALONG THE EASTERLY LINE OF SAID TRACT 2 A DISTANCE OF 130.00 FEET;  
THENCE NORTH 534°10'08" WEST A DISTANCE OF 140.00 FEET;  
THENCE NORTH 26°38'52" EAST A DISTANCE OF 20.00 FEET; THENCE NORTH 63°21'08" WEST A DISTANCE OF 95.99 FEET TO THE NORTH LINE OF SAID TRACT 2;  
THENCE SOUTH 88°20'37" EAST ALONG SAID NORTH LINE A DISTANCE OF 260.38 FEET TO THE POINT OF BEGINNING.



**AS-CONSTRUCTED**

WITHIN THE PARAMETERS LISTED BELOW, THESE ARE REVISIONS TO THE APPROVED PLANS FOR CONSTRUCTION AND REFLECT EXISTING FIELD CONDITIONS AS OF NOVEMBER 15, 2002. THE HORIZONTAL POSITION OF MANHOLES, CATCH BASINS AND SIDE SERVICE STUB MARKERS WITHIN THE PROPOSED RIGHT-OF-WAY WHICH VARY MORE THAN FIVE FEET FROM DESIGN LOCATION BASED ON A VISUAL VERIFICATION OF FEATURES OBSERVABLE FROM THE SURFACE, HAVE BEEN REVISED ON THESE PLANS. THE AS-CONSTRUCTED TOP AND INVERT ELEVATIONS WERE DERIVED BY FIELD VERTICAL PROFILE TIED TO THE PROJECT BENCHMARK AS SHOWN ON THE APPROVED PLAN SET. THE REVISED SLOPES BETWEEN STRUCTURES ARE CALCULATED BASED ON THE AS-CONSTRUCTED INVERT ELEVATIONS AND MAY OR MAY NOT REFLECT THE ACTUAL SLOPE OF THE INSTALLED PIPE. PETERSON CONSULTING ENGINEERS DOES NOT CERTIFY THE ACCURACY OF THE INFORMATION SUPPLIED BY THE CONTRACTOR, EVEN IF SUCH INFORMATION IS INCORPORATED IN THESE PLANS.

**NOTE:** FRONT YARD SETBACK SHOWN IS FOR LIVING SPACE. GARAGE SETBACK IS 20' FROM R.O.W. OR BACK OF WALK, WHICH EVER IS GREATER

**LEGEND**

PROPOSED STORM DRAINAGE	
—	STORM DRAIN PIPE
—	STORM DRAINAGE SERVICE LINE
—	BOUNDARY
—	LOT LINE
—	RIGHT-OF-WAY
—	FLOW & CURB LINE
—	CENTER LINE
—	EASEMENT
—	B-SI
—	SWALE OR DITCH
—	FENCE
—	2' CONTOURS
—	10' CONTOURS
—	FILTER FENCE
—	AREAS TO BE CLEARED
—	CLEARING LIMITS
●	CATCH BASIN, TYPE I
●	CATCH BASIN, TYPE II
●	CLEANOUT (SDCO)
●	SIGN
■	RIPRAP
■	ASPHALT PAVEMENT
■	EXISTING PAVEMENT
■	SIDEWALK
■	GRAVEL

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20	BACKYARD DRAIN PROFILES AND DETAILS
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25	TERRA ASSOCIATES DETAILS

Call 2 Working Days Before You Dig  
**1-800-424-5555**  
 Utilities Underground Location Center  
 (ID, MT, ND, OR, WA)

ACCEPTED FOR CONSTRUCTION  
 CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE

ACCEPTED AS IN COMPLIANCE  
 WITH CONDITIONS OF APPROVAL  
 FOR PP 00-55

DIRECTOR OF COMMUNITY DEVELOPMENT DATE

**NO. DATE REVISION**

1	11/17/04	PER CITY COMMENTS
2	5/26/04	PER CITY COMMENTS
3	6/17/04	PER CITY COMMENTS
4	11/19/04	AS-BUILT

**DESIGN GROUP**  
 JENNIFER A. STEIG, P.E.  
 PROJECT MANAGER  
 J. STEIG  
 DESIGNER  
 H. ONG  
 CADD  
 J. STEIG  
 CHECKED  
 3/05/02  
 DATE  
 CIVIL/2102  
 FILE NAME

**COVER SHEET**

**THE VINEYARDS AT MILL CREEK**

WASHINGTON

CITY OF MILL CREEK

**JENNIFER ANN STEIG**  
 STATE OF WASHINGTON  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 32238  
 EXPIRES 09/09/04

STAMP NOT VALID  
 UNLESS SIGNED AND DATED

**PETERSON CONSULTING ENGINEERS**

4030 Lake Washington Blvd. N.E., Suite 200  
 Kirkland, WA 98033  
 Tel (425) 827-5874  
 Fax (425) 822-7216

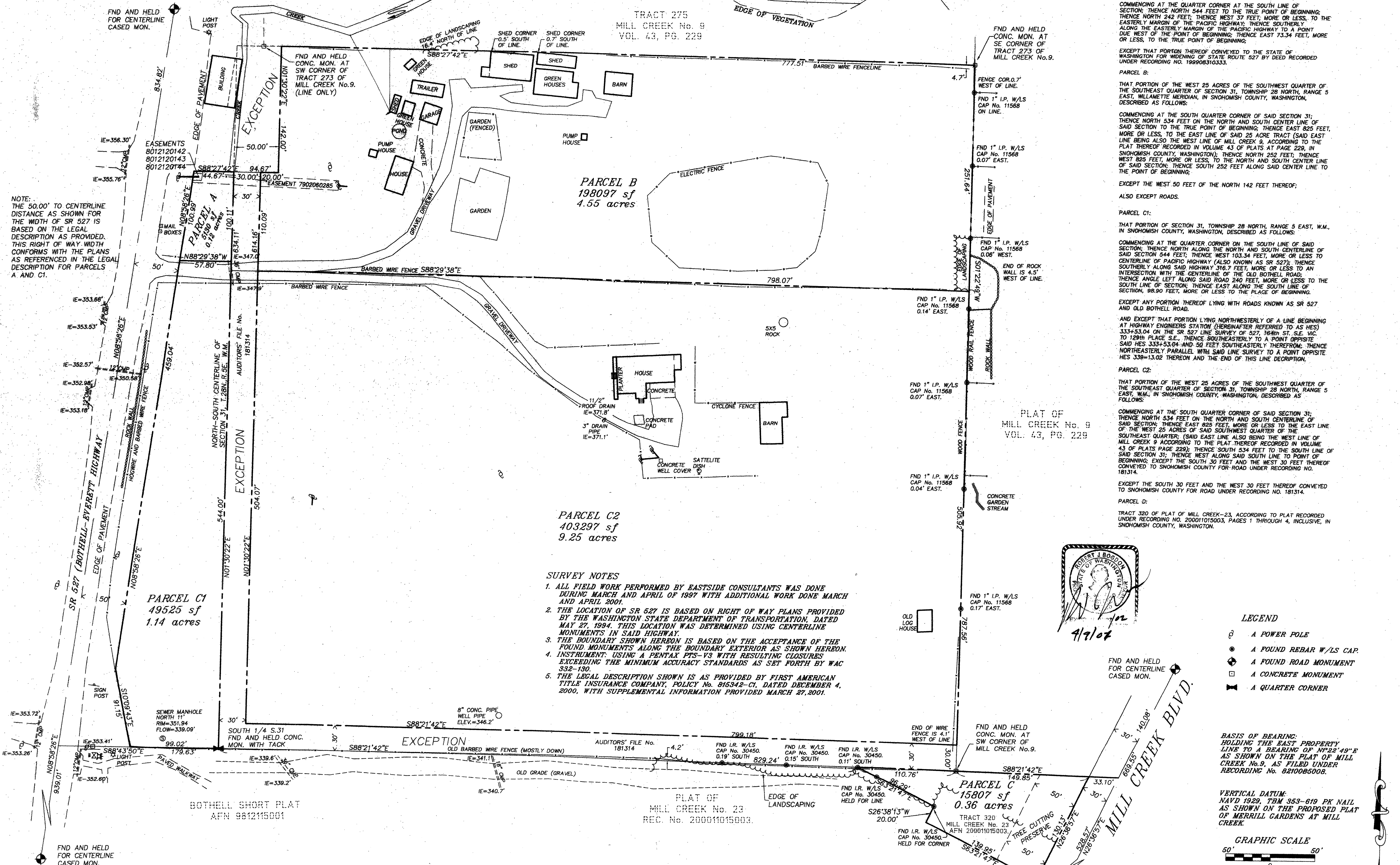
JOB NUMBER: **STAF-0002**  
 SHEET NUMBER: **1<sup>st</sup> OF 25**

**HDEV-2331**



NOTE:  
THE 50.00' TO CENTERLINE DISTANCE AS SHOWN FOR THE WIDTH OF SR 527 IS BASED ON THE LEGAL DESCRIPTION AS PROVIDED. THIS RIGHT OF WAY WIDTH CONFORMS WITH THE PLANS AS REFERENCED IN THE LEGAL DESCRIPTION FOR PARCELS A AND C1.

NOTE:  
CREEK AND APPROXIMATE WETLAND/EDGE OF VEGETATION FIELD LOCATED APRIL 6, 2001.

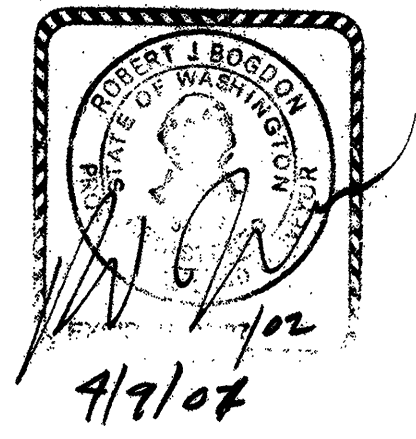


LEGAL DESCRIPTIONS:  
 PARCEL A:  
 THE SOUTH 100 FEET OF THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE QUARTER CORNER AT THE SOUTH LINE OF SECTION; THENCE NORTH 54.4 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 24.2 FEET, THENCE WEST 37 FEET, MORE OR LESS, TO THE EASTERLY MARGIN OF THE PACIFIC HIGHWAY; THENCE SOUTHERLY ALONG THE EASTERLY MARGIN OF THE PACIFIC HIGHWAY TO A POINT DUE WEST OF THE POINT OF BEGINNING; THENCE EAST 73.34 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING.  
 EXCEPT THAT PORTION THEREOF CONVEYED TO THE STATE OF WASHINGTON FOR WIDENING OF STATE ROUTE 527 BY DEED RECORDED UNDER RECORDING NO. 199908310333.  
 PARCEL B:  
 THAT PORTION OF THE WEST 25 ACRES OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 31; THENCE NORTH 53.4 FEET ON THE NORTH AND SOUTH CENTER LINE OF SAID SECTION TO THE TRUE POINT OF BEGINNING; THENCE EAST 825 FEET, MORE OR LESS, TO THE EAST LINE OF SAID 25 ACRE TRACT (SAID EAST LINE BEING ALSO THE WEST LINE OF MILL CREEK 9 ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 43 OF PLATS AT PAGE 229, IN SNOHOMISH COUNTY, WASHINGTON); THENCE NORTH 252 FEET; THENCE WEST 825 FEET, MORE OR LESS, TO THE NORTH AND SOUTH CENTER LINE OF SAID SECTION; THENCE SOUTH 252 FEET ALONG SAID CENTER LINE TO THE POINT OF BEGINNING.  
 EXCEPT THE WEST 50 FEET OF THE NORTH 142 FEET THEREOF; ALSO EXCEPT ROADS.  
 PARCEL C1:  
 THAT PORTION OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE QUARTER CORNER ON THE SOUTH LINE OF SAID SECTION; THENCE NORTH ALONG THE NORTH AND SOUTH CENTERLINE OF SAID SECTION 544 FEET; THENCE WEST 103.34 FEET, MORE OR LESS TO CENTERLINE OF PACIFIC HIGHWAY (ALSO KNOWN AS SR 527); THENCE SOUTHERLY ALONG SAID HIGHWAY 316.7 FEET, MORE OR LESS TO AN INTERSECTION WITH THE CENTERLINE OF THE OLD BOTHELL ROAD; THENCE ANGLE LEFT ALONG SAID ROAD 240 FEET, MORE OR LESS TO THE SOUTH LINE OF SECTION; THENCE EAST ALONG THE SOUTH LINE OF SECTION, 98.90 FEET, MORE OR LESS TO THE PLACE OF BEGINNING.  
 EXCEPT ANY PORTION THEREOF LYING WITH ROADS KNOWN AS SR 527 AND OLD BOTHELL ROAD.  
 AND EXCEPT THAT PORTION LYING NORTHEASTERLY OF A LINE BEGINNING AT HIGHWAY ENGINEERS STATION (HEREINAFTER REFERRED TO AS HES) 333+53.04 ON THE SR 527 LINE SURVEY OF 527, 164th ST. S.E. VIC. TO 129th PLACE S.E., THENCE SOUTHEASTERLY TO A POINT OPPOSITE SAID HES 333+53.04 AND 50 FEET SOUTHEASTERLY THEREFROM; THENCE NORTHEASTERLY PARALLEL WITH SAID LINE SURVEY TO A POINT OPPOSITE HES 339+13.02 THEREON AND THE END OF THIS LINE DESCRIPTION.  
 PARCEL C2:  
 THAT PORTION OF THE WEST 25 ACRES OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 31; THENCE NORTH 53.4 FEET ON THE NORTH AND SOUTH CENTERLINE OF SAID SECTION; THENCE EAST 825 FEET, MORE OR LESS TO THE EAST LINE OF THE WEST 25 ACRES OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; (SAID EAST LINE ALSO BEING THE WEST LINE OF MILL CREEK 9 ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 43 OF PLATS PAGE 229); THENCE SOUTH 53.4 FEET TO THE POINT OF BEGINNING; EXCEPT THE SOUTH 30 FEET AND THE WEST 30 FEET THEREOF CONVEYED TO SNOHOMISH COUNTY FOR ROAD UNDER RECORDING NO. 181314.  
 EXCEPT THE SOUTH 30 FEET AND THE WEST 30 FEET THEREOF CONVEYED TO SNOHOMISH COUNTY FOR ROAD UNDER RECORDING NO. 181314.  
 PARCEL D:  
 TRACT 320 OF PLAT OF MILL CREEK-23, ACCORDING TO PLAT RECORDED UNDER RECORDING NO. 20001015003, PAGES 1 THROUGH 4, INCLUSIVE, IN SNOHOMISH COUNTY, WASHINGTON.

PARCEL C2  
403297 sf  
9.25 acres

PLAT OF  
MILL CREEK No. 9  
VOL. 43, PG. 229

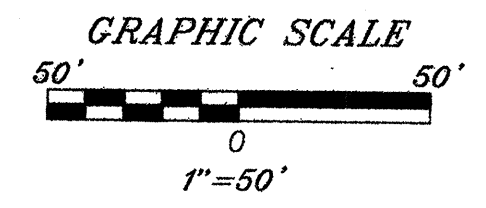
- SURVEY NOTES**
1. ALL FIELD WORK PERFORMED BY EASTSIDE CONSULTANTS WAS DONE DURING MARCH AND APRIL OF 1997 WITH ADDITIONAL WORK DONE MARCH AND APRIL 2001.
  2. THE LOCATION OF SR 527 IS BASED ON RIGHT OF WAY PLANS PROVIDED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, DATED MAY 27, 1994. THIS LOCATION WAS DETERMINED USING CENTERLINE MONUMENTS IN SAID HIGHWAY.
  3. THE BOUNDARY SHOWN HEREON IS BASED ON THE ACCEPTANCE OF THE FOUND MONUMENTS ALONG THE BOUNDARY EXTERIOR AS SHOWN HEREBON.
  4. INSTRUMENTS USING A PENTAX PPS-Y3 WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY STANDARDS AS SET FORTH BY WAC 332-130.
  5. THE LEGAL DESCRIPTION SHOWN IS AS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, POLICY No. 815342-CI, DATED DECEMBER 4, 2000, WITH SUPPLEMENTAL INFORMATION PROVIDED MARCH 27, 2001.



- LEGEND**
- ⊕ A POWER POLE
  - ⊙ A FOUND REBAR W/LS CAP.
  - ⊕ A FOUND ROAD MONUMENT
  - ⊕ A CONCRETE MONUMENT
  - ⊕ A QUARTER CORNER

**BASIS OF BEARING:**  
HOLDING THE EAST PROPERTY LINE TO A BEARING OF N<sup>22°49' E</sup> AS SHOWN ON THE PLAT OF MILL CREEK No. 9, AS FILED UNDER RECORDING No. 821005008.

**VERTICAL DATUM:**  
NAVD 1929, TBM 353-619 PK NAIL AS SHOWN ON THE PROPOSED PLAT OF MERRILL GARDENS AT MILL CREEK.



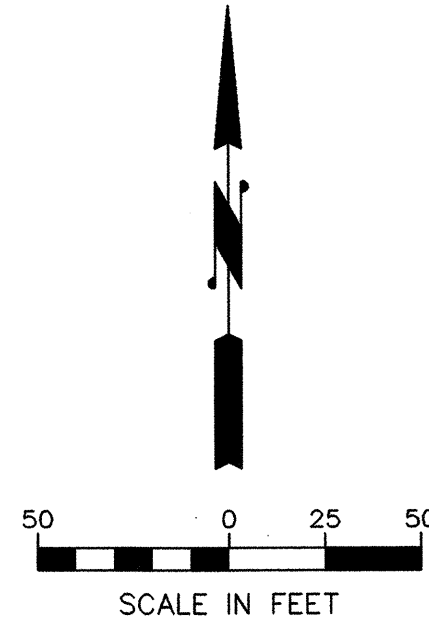
REVISIONS	BY	DATE

ADDITIONAL TOPO  
CREEK LOCATION

STAFFORD HOMES

ENGINEERS - SURVEYORS  
**EASTSIDE CONSULTANTS, INC.**  
48 TANNER BLVD., N  
5th FLOOR, WASHINGTON 99027  
PH: (206) 463-3301 FAX: (206) 463-3378

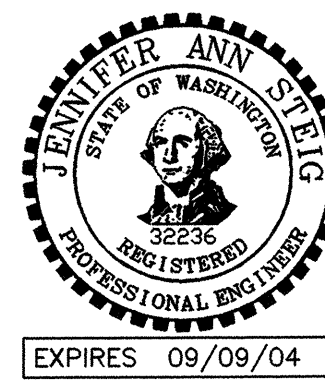
JOB NO. 01018  
DATE 3/01  
SCALE 1"=50'  
DESIGNED R.B.  
DRAWN R.B.  
CHECKED R.KITZ  
APPROVED R.KITZ  
AB/25  
SHEET 1 OF 1



**NOTE:**  
ACCESS FROM SR-527 MAY BE USED FOR INITIAL MOBILIZATION OF EQUIPMENT. ONCE ACCESS TO MILL CREEK BLVD. IS ESTABLISHED THIS ACCESS SHALL NO LONGER BE USED.

**NOTE:**  
THE SEDIMENT TRAPS SERVING LOTS 19-32 MAY BE REMOVED ONCE THE SEDIMENTATION POND IS OPERATIONAL. INTERCEPTOR SWALES SHALL BE INSTALLED ON LOTS 19-32 AS NECESSARY TO INTERCEPT RUNOFF FROM DISTURBED AREAS. FLEXIBLE PIPING MAY BE USED TO CONVEY FLOWS FROM THE INTERCEPTOR SWALE (ALONG THE BACK OF LOTS 19-32) OVER THE WALL INTO THE SEDIMENTATION POND AS NECESSARY.

**AS-CONSTRUCTED**  
WITHIN THE PARAMETERS LISTED BELOW, THESE ARE REVISIONS TO THE APPROVED PLANS FOR CONSTRUCTION AND REFLECT EXISTING FIELD CONDITIONS AS OF NOVEMBER 15, 2002. THE HORIZONTAL POSITION OF MANHOLES, CATCH BASINS AND SIDE SERVICE STUB MARKERS WITHIN THE PROPOSED RIGHT-OF-WAY WHICH VARY MORE THAN FIVE FEET FROM DESIGN LOCATION BASED ON A VISUAL VERIFICATION OF FEATURES OBSERVABLE FROM THE SURFACE, HAVE BEEN REVISED ON THESE PLANS. THE AS-CONSTRUCTED TOP AND INVERT ELEVATIONS WERE DERIVED BY FIELD VERTICAL PROFILE TIED TO THE PROJECT BENCHMARK AS SHOWN ON THE APPROVED PLAN SET. THE REVISED SLOPES BETWEEN STRUCTURES ARE CALCULATED BASED ON THE AS-CONSTRUCTED INVERT ELEVATIONS AND MAY OR MAY NOT REFLECT THE ACTUAL SLOPE OF THE INSTALLED PIPE. PETERSON CONSULTING ENGINEERS DOES NOT CERTIFY THE ACCURACY OF THE INFORMATION SUPPLIED BY THE CONTRACTOR, EVEN IF SUCH INFORMATION IS INCORPORATED IN THESE PLANS.



**CONSTRUCTION SEQUENCE**

1. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MILL CREEK.
2. FLAG CLEARING LIMITS AND INSTALL ORANGE FILTER FABRIC FENCE OR ORANGE BARRIER FENCE ALONG PERIMETER OF SITE AS SHOWN. INSTALL FILTER FABRIC CB INSERT ON EXISTING STORM SYSTEM IN MILL CREEK BLVD.
3. CONSTRUCT ACCESS INTO SITE FROM MILL CREEK BLVD. EXCAVATE AS NECESSARY AND STOCKPILE IN PARK AREA. AS SOON AS EXCAVATION AT ENTRANCE IS COMPLETE, INSTALL GRAVEL CONSTRUCTION ENTRANCE.
4. CLEAR AREA FOR STORMWATER DETENTION FACILITY AND EXCAVATE FOR USE AS SEDIMENT POND. INSTALL LEVEL SPREADER, PIPE OUTFALL AND CONTROL STRUCTURE WITHOUT FLOW CONTROL RESTRICTOR. INSTALL DEWATERING RISER IN POND.
5. INSTALL SEDIMENT TRAPS ON LOTS 25 AND 26.
6. CLEAR AND ROUGH GRADE SITE, USING TEMPORARY INTERCEPTOR SWALES TO DIRECT RUNOFF TO THE SEDIMENT POND AND SEDIMENT TRAPS. INSTALL WALLS AS NOTED ON PLANS. MULCH AND/OR SEED SLOPES AS SOON AS STABILIZED.

**CONSTRUCTION SEQUENCE (CONT.)**

7. INSTALL STORM DRAINAGE SYSTEM WITH FILTER FABRIC CB INSERT. INSTALL ALL OTHER UTILITIES.
8. INSTALL ATB, CURBING AND SIDEWALK.
9. CLEAN PERMANENT DETENTION / WETPOND. INSTALL FLOW CONTROL RESTRICTOR AND OTHER APPURTENANCES IN THE CONTROL STRUCTURE AND DETENTION FACILITY.
10. INSTALL FINAL PAVING.
11. CLEAN DETENTION SYSTEM AND LEVEL SPREADER AS NECESSARY. RECONSTRUCT LEVEL SPREADER IF CLOGGED DURING TESC OPERATIONS.
12. CLEAN ALL PIPES AND STRUCTURES. REMOVE REMAINING TESC FACILITIES.

**NOTE:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST DURING CONSTRUCTION BY WATERING AREAS OF SOIL DISTURBANCE AS NEEDED.

**EROSION AND SEDIMENT CONTROL NOTES**

1. APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
4. ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLAN SHALL BE CLEARLY FLAGGED BY THE ENGINEER IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
6. THE REQUIRED SEDIMENTATION FACILITY AND LEVEL SPREADER OUTFALL MUST BE IN OPERATION PRIOR TO LAND CLEARING AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND POTENTIAL FOR ON-SITE EROSION HAS PASSED AND THE CITY HAS APPROVED REMOVAL OR MODIFICATION OF FACILITIES.
7. THE EROSION AND SEDIMENTATION CONTROL SYSTEMS DEPICTED ON THIS DRAWING ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND AS UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE CONTRACTOR SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES WILL BE NECESSARY TO INSURE COMPLETE SILTATION CONTROL ON THE PROPOSED SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM.
8. THE ESC FACILITIES SHOWN ON THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
9. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE TESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30). TEMPORARY EROSION CONTROL FACILITIES SHALL BE INSPECTED WEEKLY AND MAINTAINED WITHIN 24 HOURS FOLLOWING A STORM EVENT. SEDIMENT SHALL BE REMOVED TO ENSURE THE FACILITIES WILL FUNCTION PROPERLY. THE FACILITIES SHALL BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
10. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, PLASTIC COVERING, ETC.).
11. ANY AREA NEEDING ESC MEASURES, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS.
12. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
13. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF SEDIMENT.
14. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
15. THE CONTRACTOR SHALL REMOVE MATERIAL DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO THE CITY RIGHT-OF-WAY OR INTO THE STORM DRAINAGE SYSTEM ON MILL CREEK BLVD. DEBRIS SHALL NOT BE WASHED INTO THE STORM DRAINAGE SYSTEM. THE STORM SYSTEM SHALL BE CLEANED PRIOR TO ACCEPTANCE BY THE CITY.
16. ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
17. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF TWO TO THREE INCHES.
18. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE CITY INSPECTOR. THE CITY INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.
19. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

INSTALL ORANGE BARRIER FENCE OR ORANGE SILT FENCE ALONG ALL CLEARING LIMITS.

INSTALL FILTER FABRIC CB INSERT PER DETAIL SHEET 5 (TYP.)

**NOTE:**  
ALL TRUCKS SHALL BE CLEANED AND INSPECTED TO ENSURE THAT DIRT, MUD, AND OTHER MATERIALS ARE NOT DEPOSITED ON PUBLIC STREETS.

**T.E.S.C. LEGEND**

- AREA TO BE CLEARED
- LIMITS OF CLEARING
- SILT FENCE
- INTERCEPTOR SWALE W/ ROCK CHECK DAM
- INLET PROTECTION

BY: CK	DATE: 11/19/02	REVISION: PER CITY COMMENTS
ADD: JAS	DATE: 5/20/02	REVISION: PER CITY COMMENTS
ADD: JAS	DATE: 6/17/02	REVISION: PER CITY COMMENTS
ADD: JAS	DATE: 11/19/02	REVISION: AS-BUILT
ADD: BMD		

DESIGN GROUP: JENNIFFER A. STEIG, P.E.	DESIGNED: H. ONG	CHECKED: J. STEIG	DATE: 3/8/02
PROJECT MANAGER: J. STEIG	FILE NAME: TP1ST02		

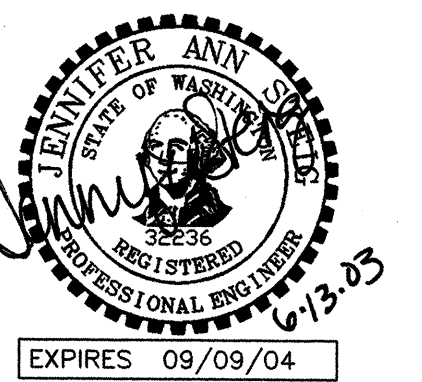
T.E.S.C. PLAN  
**THE VINEYARDS AT MILL CREEK**  
WASHINGTON  
CITY OF MILL CREEK

ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE

ACCEPTED AS IN COMPLIANCE  
WITH CONDITIONS OF APPROVAL  
FOR PP 00-55

DIRECTOR OF COMMUNITY DEVELOPMENT DATE



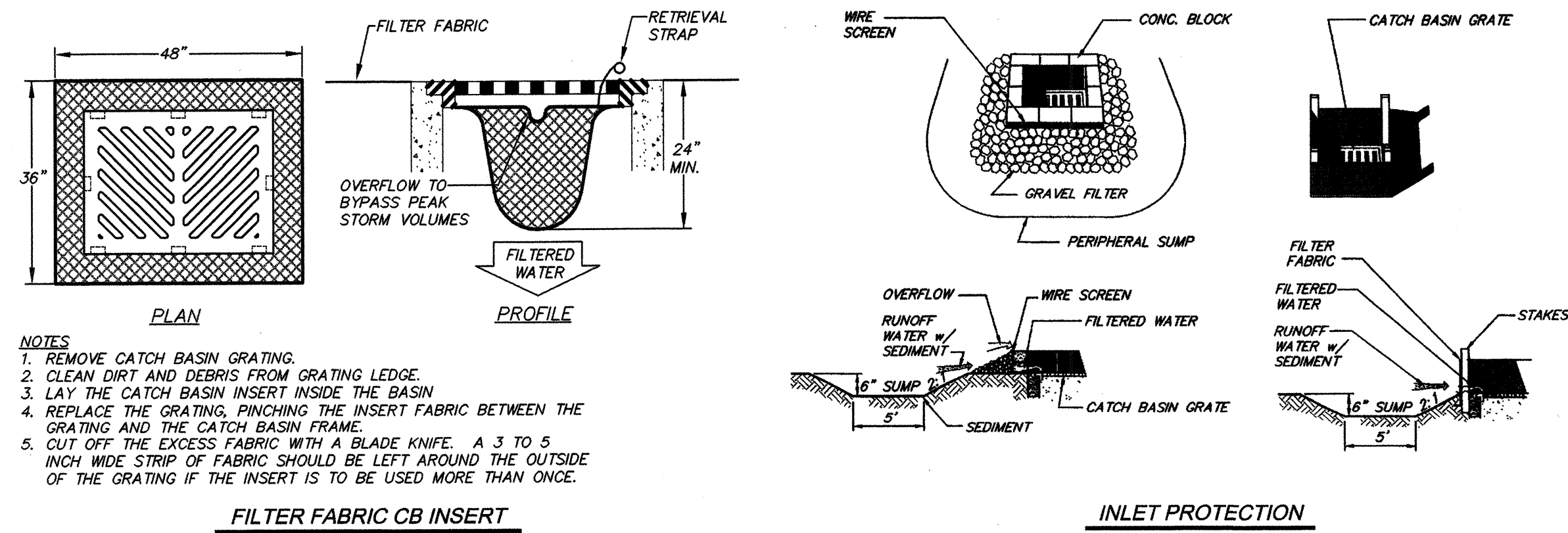
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Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER: STAF-0002

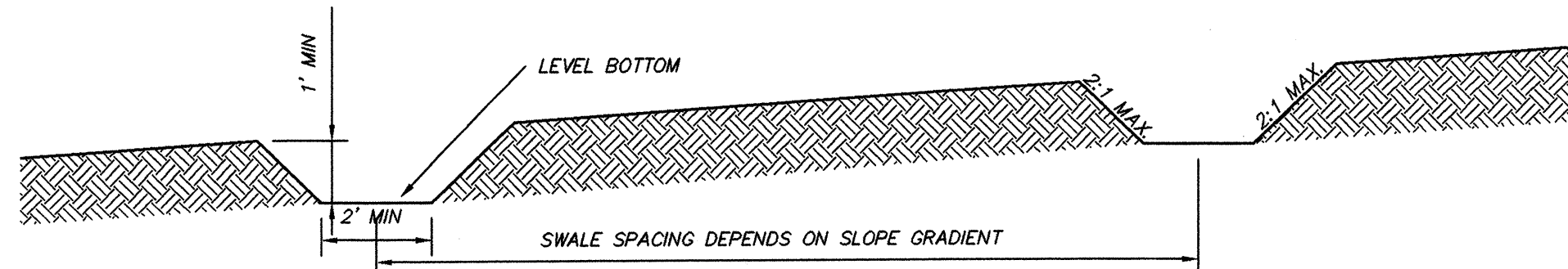
SHEET NUMBER: 4<sup>AB</sup> OF 25



- NOTES**
1. REMOVE CATCH BASIN GRATING.
  2. CLEAN DIRT AND DEBRIS FROM GRATING LEDGE.
  3. LAY THE CATCH BASIN INSERT INSIDE THE BASIN.
  4. REPLACE THE GRATING, PINCHING THE INSERT FABRIC BETWEEN THE GRATING AND THE CATCH BASIN FRAME.
  5. CUT OFF THE EXCESS FABRIC WITH A BLADE KNIFE. A 3 TO 5 INCH WIDE STRIP OF FABRIC SHOULD BE LEFT AROUND THE OUTSIDE OF THE GRATING IF THE INSERT IS TO BE USED MORE THAN ONCE.

**CB PROTECTION OPTIONS**

NOT TO SCALE  
NOTE: THE BEST CB PROTECTION SHALL BE DETERMINED ON A CASE BY CASE BASIS IN THE FIELD W/ CITY STAFF.

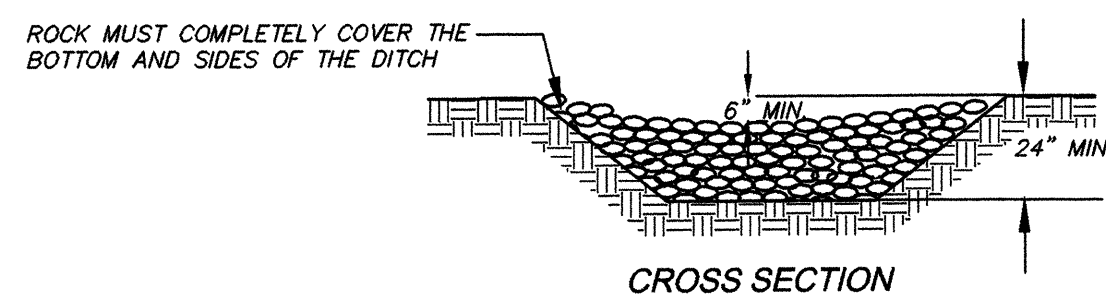


**HORIZONTAL SPACING OF INTERCEPTOR SWALES:**

AVERAGE SLOPE	SPACING
< 5%	300 FEET
5-10%	200 FEET
10-40%	100 FEET

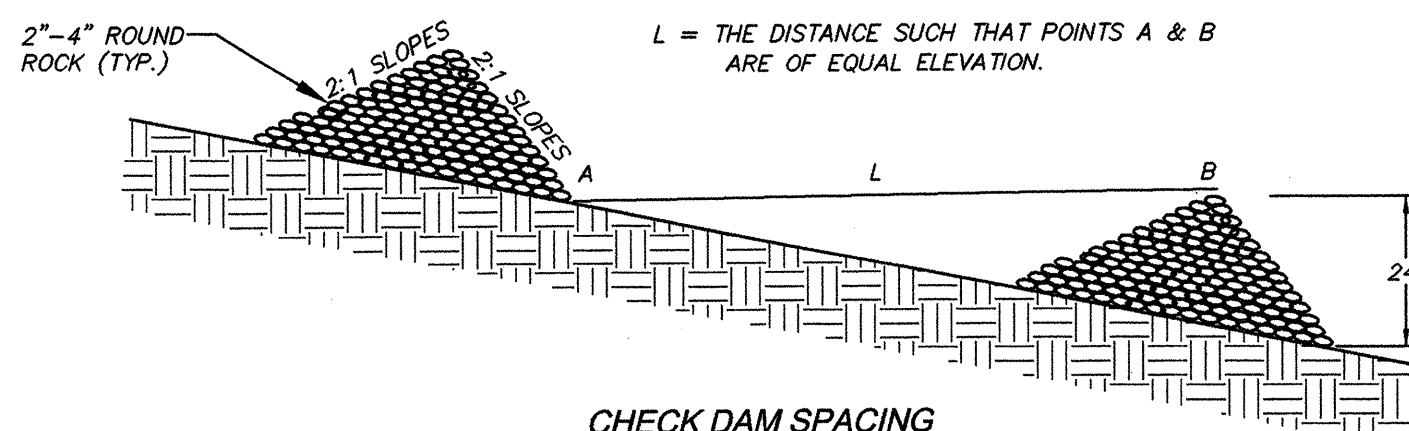
INSTALL ROCK CHECK DAMS AS REQUIRED

**INTERCEPTOR SWALE**



**CHECK DAM MAINTENANCE STANDARDS**

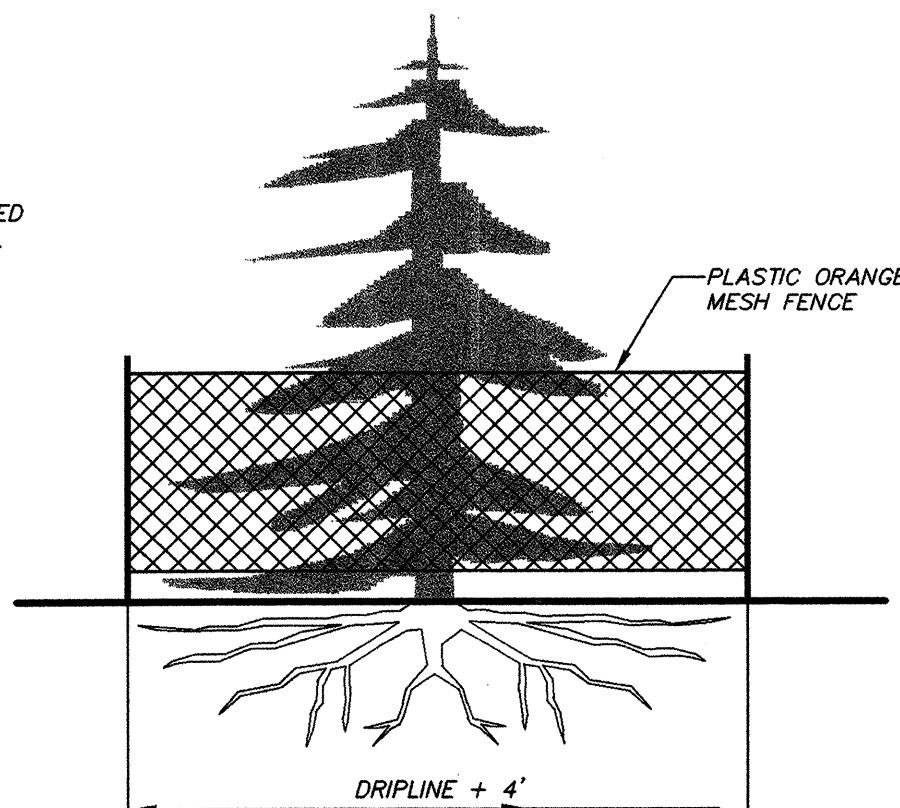
1. ANY SEDIMENT DEPOSITION OF MORE THAN 0.5 FEET SHALL BE REMOVED SO THAT THE CHANNEL IS RESTORED TO ITS ORIGINAL CAPACITY.
2. IF THE CHANNEL CAPACITY IS INSUFFICIENT FOR THE FLOW, IT MUST BE DETERMINED WHETHER THE PROBLEM IS LOCAL (e.g., A CONSTRUCTION OR BEND) OR THE CHANNEL IS UNDER-SIZED. IF THE PROBLEM IS LOCAL, THE CHANNEL CAPACITY MUST BE INCREASED THROUGH CONSTRUCTION OF A BERM(S) OR BY EXCAVATION. IF THE PROBLEM IS UNDER-SIZED, THE DESIGN ENGINEER SHALL BE NOTIFIED AND THE CHANNEL DESIGNED TO A MORE CONSERVATIVE STANDARD TO BE APPROVED BY THE CITY INSPECTOR.
3. THE CHANNEL SHALL BE EXAMINED FOR SIGNS OF SCOURING AND EROSION OF THE BED AND BANKS. IF SCOURING OR EROSION HAS OCCURRED, AFFECTED AREAS SHALL BE PROTECTED BY RIPRAP OR AN EROSION CONTROL BLANKET OR NET.



**ROCK CHECK DAM DETAIL**

**TREE PROTECTION DURING CONSTRUCTION**

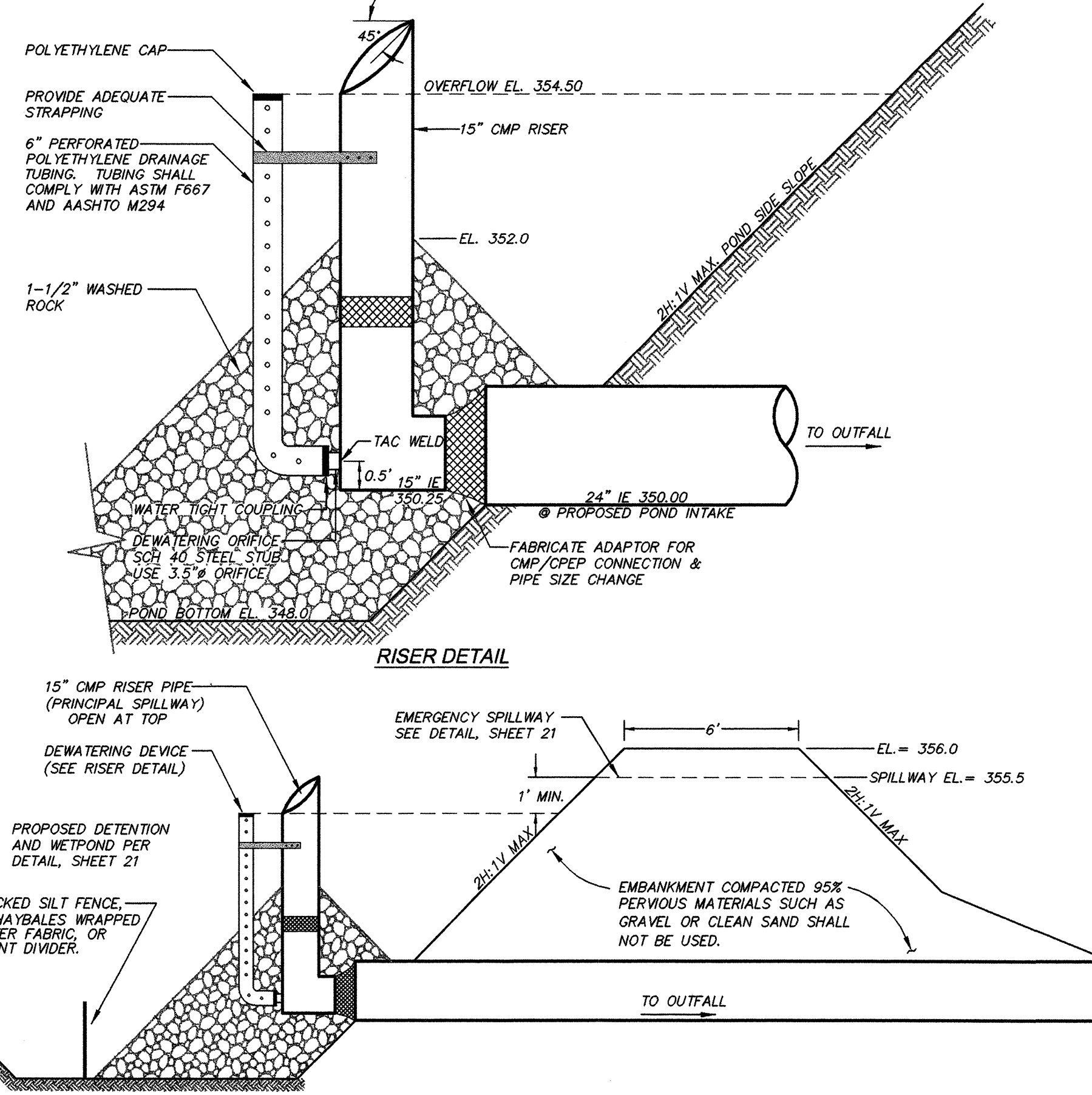
1. PLASTIC ORANGE MESH FENCING SHALL BE PLACED 2' OUTWARD OF DRIPLINE OF TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCLOSE TREE(S).
2. A REPRESENTATIVE OF THE CITY OF MILL CREEK SHALL VERIFY PROTECTIVE FENCING PLACEMENT PRIOR TO ISSUANCE OF NOTICE TO PROCEED FOR CLEARING & GRADING.
3. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER 1" IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN, STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED W/ DAMP BURLAP TO PREVENT DRYING, AND COVERED WITH SOIL AS SOON AS POSSIBLE.
4. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING.



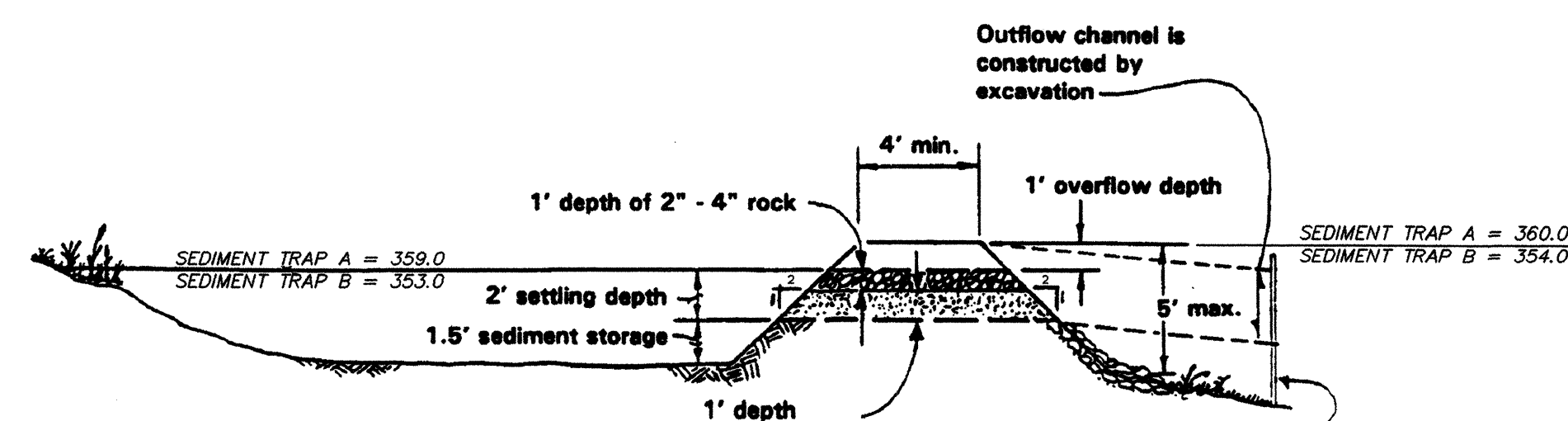
**TREE PROTECTION DETAIL**

**SEDIMENT POND SIZING CALCULATIONS: (TRACT B)**  
 $SA = FS \times Q_{10} / V_s = \text{SURFACE AREA}$   
 WHERE: FS = 1.2 = FACTOR OF SAFETY  
 $Q_{10} = 3.95 \text{ cfs} = 10 \text{ YEAR PEAK STORM EVENT}$   
 $V_s = 0.00096 \text{ ft/s} = \text{SETTLING VELOCITY}$   
 $SA = (1.2 \times 3.95 \text{ cfs}) / 0.00096 \text{ ft/s} = 4,938 \text{ sf (REQUIRED)}$   
 $= 16,125 \text{ sf (PROVIDED)}$

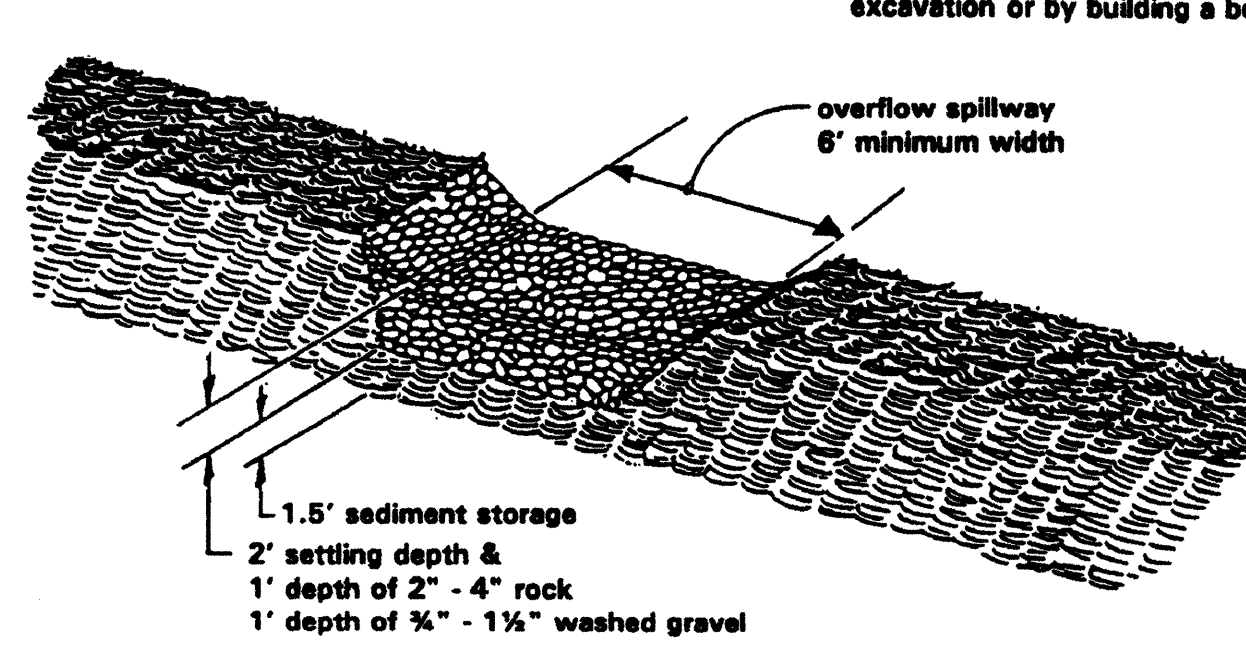
**DEWATERING ORIFICE SIZING CALCULATIONS: (TRACT B)**  
 $A_o = A_s(2h)^{0.5} / 0.6 \times 3600(T/g)^{0.5}$   
 WHERE:  $A_o = \text{ORIFICE AREA}$   
 $A_s = 4,938 \text{ sf} = \text{REQUIRED POND SURFACE AREA}$   
 $h = 6.5 \text{ ft} = \text{HEAD OF WATER ABOVE ORIFICE}$   
 $T = 24 \text{ hr} = \text{DEWATERING TIME}$   
 $g = 32.2 \text{ ft/sec}^2 = \text{GRAVITY}$   
 $A_o = (4,938)(2 \times 6.5)^{0.5} / 0.6 \times 3600 \times 24 \times (32.2)^{0.5} = 0.0605 \text{ sf}$   
 $D = \text{DEWATER ORIFICE} = 13.54 \times (0.0605) = 3.33 \text{ in.}$



**SEDIMENT POND DETAIL**



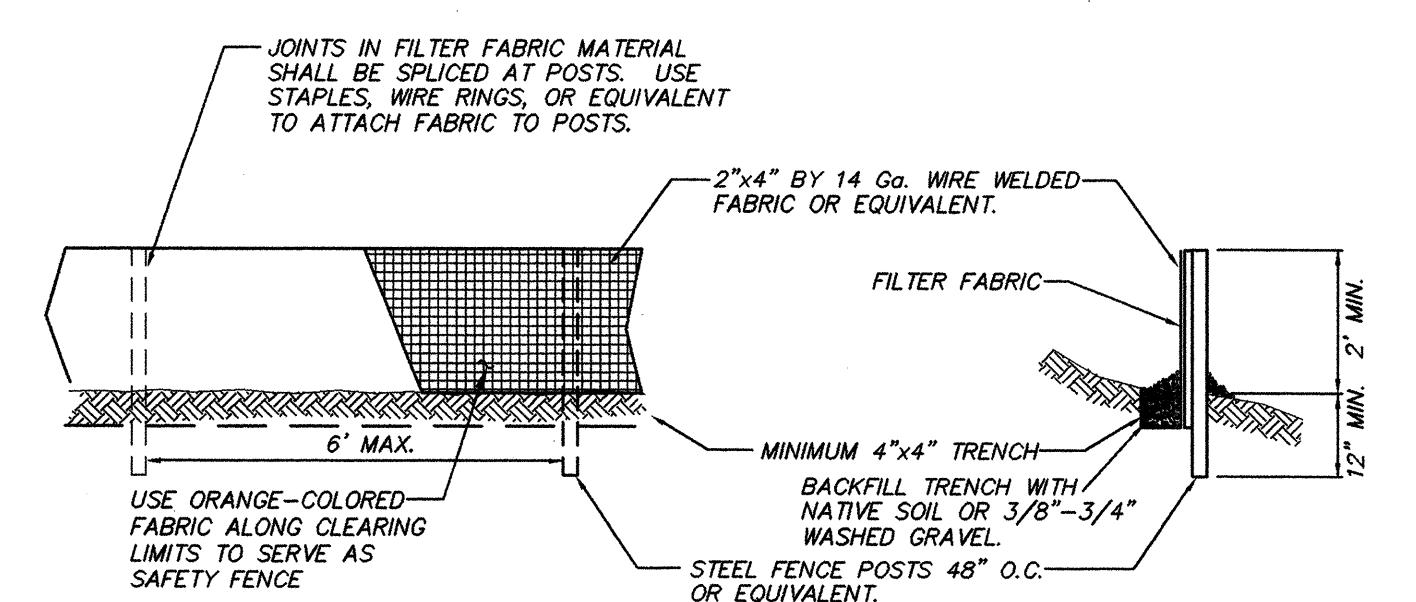
**SEDIMENT TRAP DETAIL**



**SEDIMENT TRAP DETAIL**

**SILT FENCE MAINTENANCE STANDARDS**

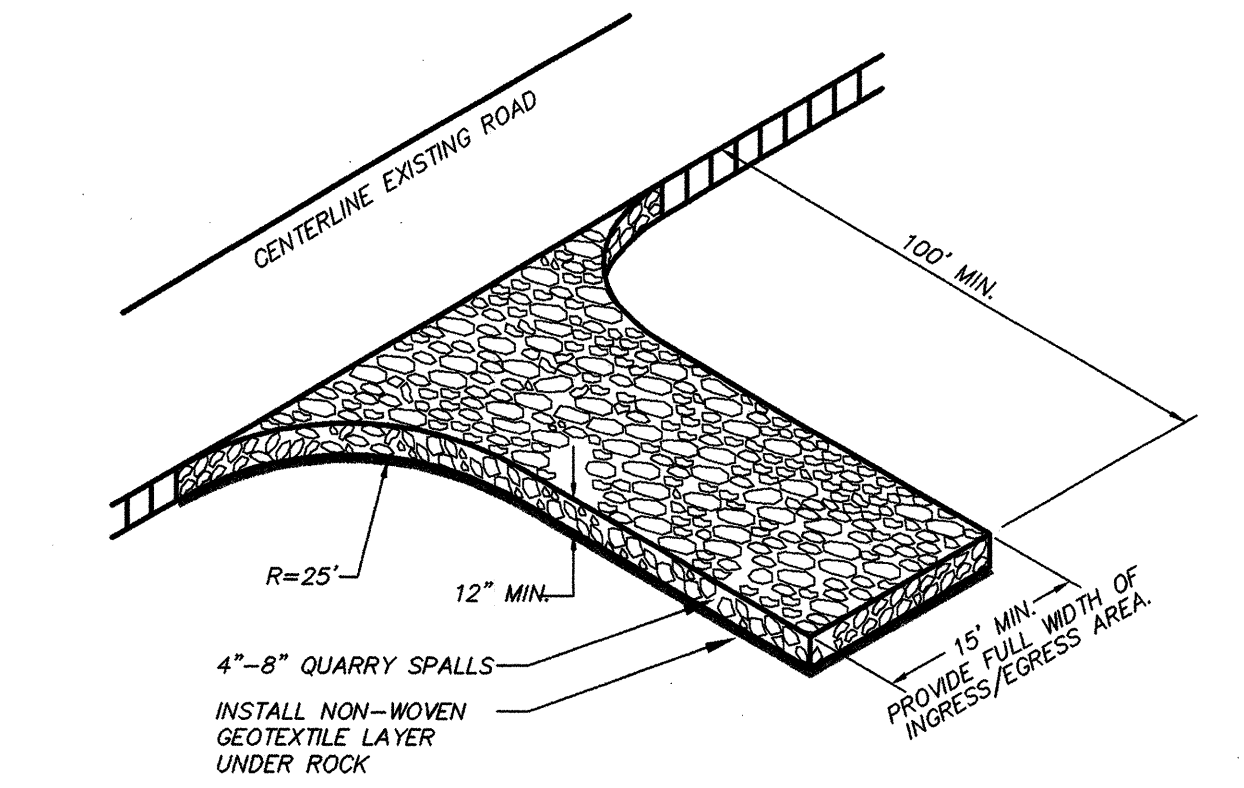
1. SILTATION BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
2. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
3. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
4. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
5. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6 INCHES HIGH.
6. IF THE FILTER FABRIC (GEOTEXTILE) HAS DEGRADED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.



**SILT FENCE DETAIL**

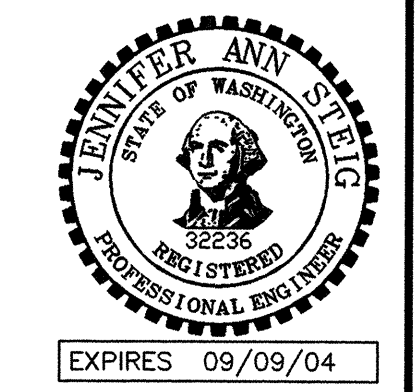
**STABILIZED CONSTRUCTION ENTRANCE MAINTENANCE STANDARDS**

1. INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIVE MATERIAL. THE QUARRY SPALLS SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS ON THE PLAN.
2. AGGREGATE: 4" TO 8" QUARRY SPALLS.
3. ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT LEAST 12" THICK. IT MUST ALSO EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE 100' MINIMUM.
4. WASHING: IF CONDITIONS OF THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLES BY CONTACT WITH AGGREGATE, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
5. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD TO A PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE TOP-DRESSING WITH 2-INCH STONE, AS CONDITIONS DEMAND. REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES.



**GRAVEL CONSTRUCTION ENTRANCE**

**AS-CONSTRUCTED**  
WITHIN THE PARAMETERS LISTED BELOW, THESE ARE REVISIONS TO THE APPROVED PLANS FOR CONSTRUCTION AND REFLECT EXISTING FIELD CONDITIONS AS OF NOVEMBER 15, 2002. THE HORIZONTAL POSITION OF MANHOLES, CATCH BASINS AND SIDE SERVICE STUB MARKERS WITHIN THE PROPOSED RIGHT-OF-WAY WHICH VARY MORE THAN FIVE FEET FROM DESIGN LOCATION BASED ON A VISUAL VERIFICATION OF FEATURES OBSERVABLE FROM THE SURFACE HAVE BEEN REVISED ON THESE PLANS. THE AS-CONSTRUCTED TOP AND INVERT ELEVATIONS WERE DERIVED BY FIELD VERTICAL PROFILE TIED TO THE PROJECT BENCHMARK AS SHOWN ON THE APPROVED PLAN SET. THE REVISED SLOPES BETWEEN STRUCTURES ARE CALCULATED BASED ON THE AS-CONSTRUCTED INVERT ELEVATIONS AND MAY OR MAY NOT REFLECT THE ACTUAL SLOPE OF THE INSTALLED PIPE. PETERSON CONSULTING ENGINEERS DOES NOT CERTIFY THE ACCURACY OF THE INFORMATION SUPPLIED BY THE CONTRACTOR, EVEN IF SUCH INFORMATION IS INCORPORATED IN THESE PLANS.



ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK  
DIRECTOR OF PUBLIC WORKS DATE

ACCEPTED AS IN COMPLIANCE  
WITH CONDITIONS OF APPROVAL  
FOR PROJECT\_NUM  
DIRECTOR OF COMMUNITY DEVELOPMENT DATE

**DATE REVISION**

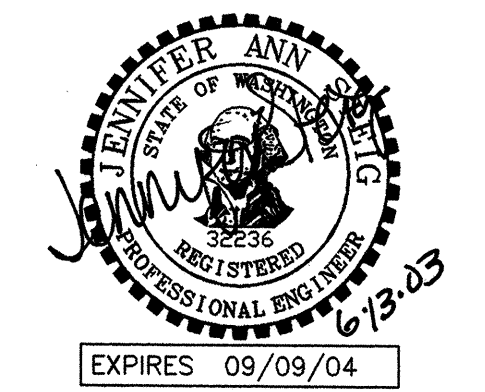
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3	11/15/02	AS-BUILT
4	11/15/02	AS-BUILT
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6	11/15/02	AS-BUILT
7	11/15/02	AS-BUILT
8	11/15/02	AS-BUILT
9	11/15/02	AS-BUILT
10	11/15/02	AS-BUILT

**DESIGN GROUP**  
JENNIFER ANN STEIG, P.E.  
PROJECT MANAGER:  
J. STEIG  
DESIGNED:  
H. ONG  
CHECKED:  
J. STEIG  
DATE:  
3/08/02  
FILE NAME:  
TD12A102

**T.E.S.C. NOTES AND DETAILS**

**THE VINEYARDS AT MILL CREEK**

WASHINGTON  
CITY OF MILL CREEK



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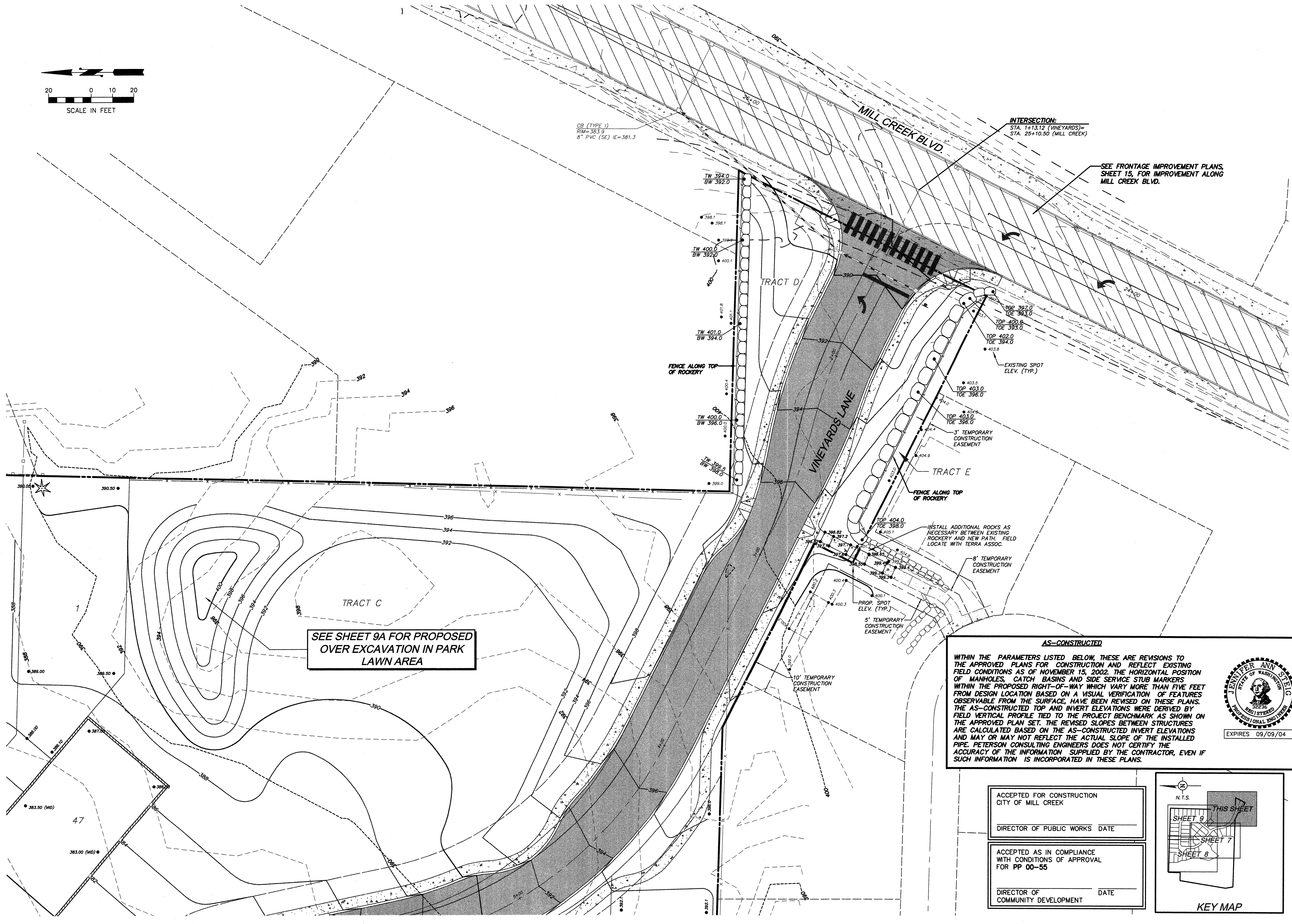
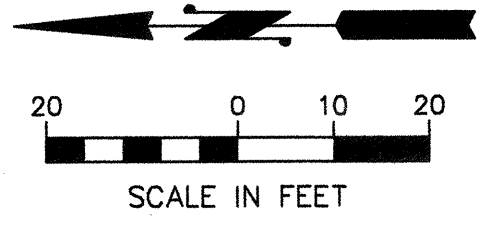


4030 Lake Washington Blvd. N.E., Suite 200  
Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER  
STAF-0002  
SHEET NUMBER  
5<sup>th</sup> OF 25

**THE VINEYARDS**

**HDEV-2335**



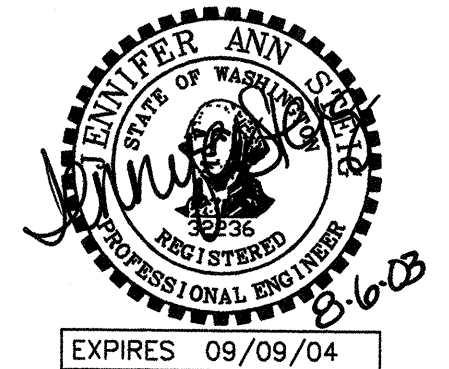
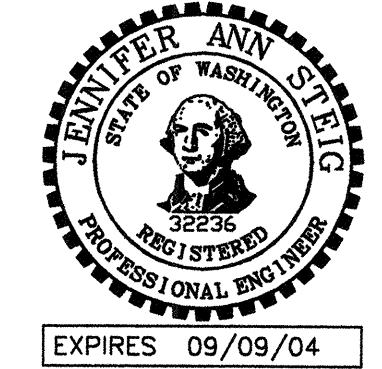
SEE SHEET 9A FOR PROPOSED OVER EXCAVATION IN PARK LAWN AREA

INTERSECTION:  
STA. 1+13.12 (VINEYARDS)=  
STA. 25+10.50 (MILL CREEK)

SEE FRONTAGE IMPROVEMENT PLANS, SHEET 15, FOR IMPROVEMENT ALONG MILL CREEK BLVD.

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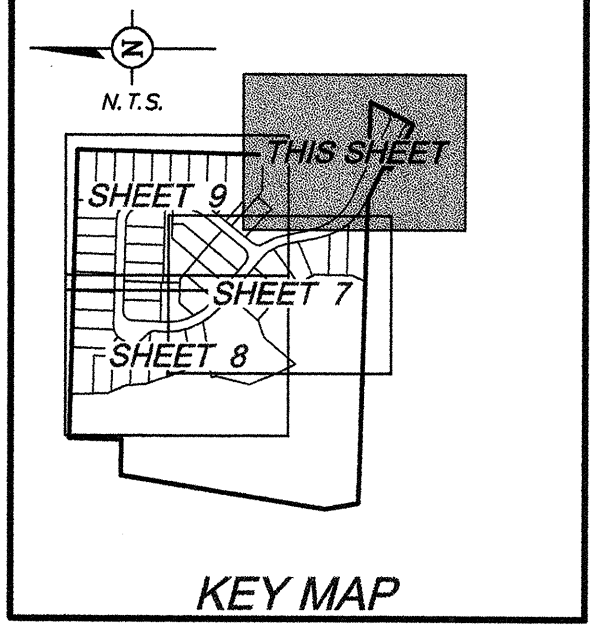


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DETAILED GRADING PLAN

NO.	DATE	REVISION
1	1/12/02	PER CITY COMMENTS
2	5/20/02	PER CITY COMMENTS
3	6/17/02	PER CITY COMMENTS
4	11/20/02	AS-BUILT
5	8/8/03	REVISED AS-BUILT PER CITY COMMENTS

DESIGN GROUP: JENNIER A. STEIG, P.E.  
PROJECT MANAGER: J. STEIG  
DESIGNER: H. LONG  
CHECKED: J. STEIG  
DATE: 3/20/02  
FILE NAME: GP12A02

**THE VINEYARDS AT MILL CREEK**

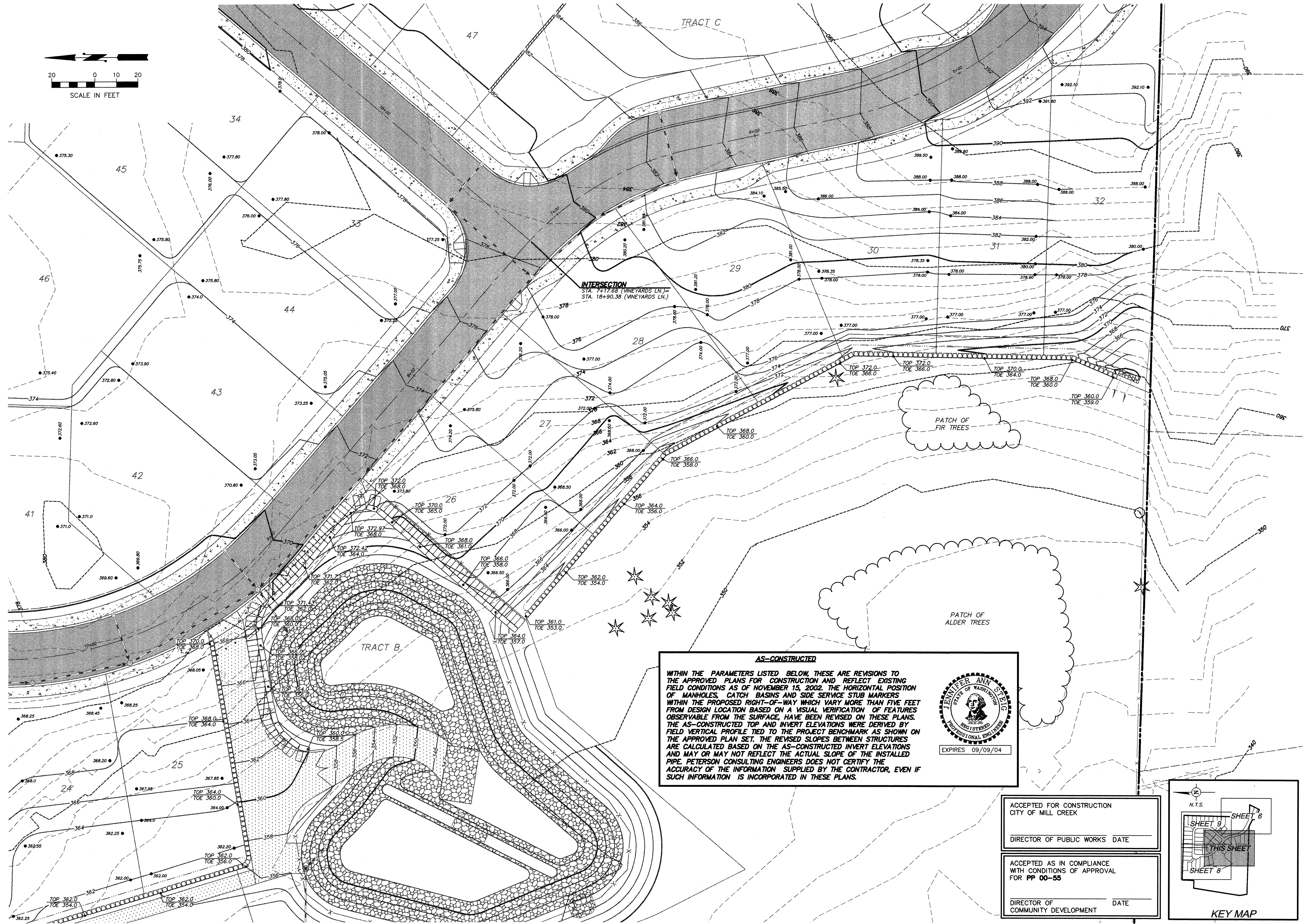
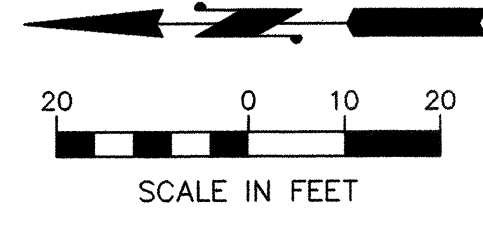
WASHINGTON

CITY OF MILL CREEK

**PETERSON CONSULTING ENGINEERS**

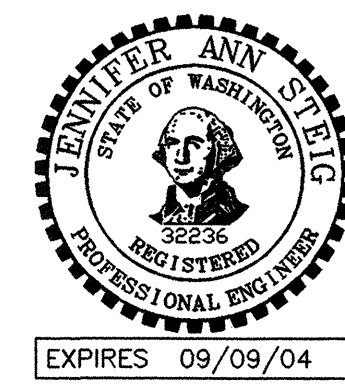
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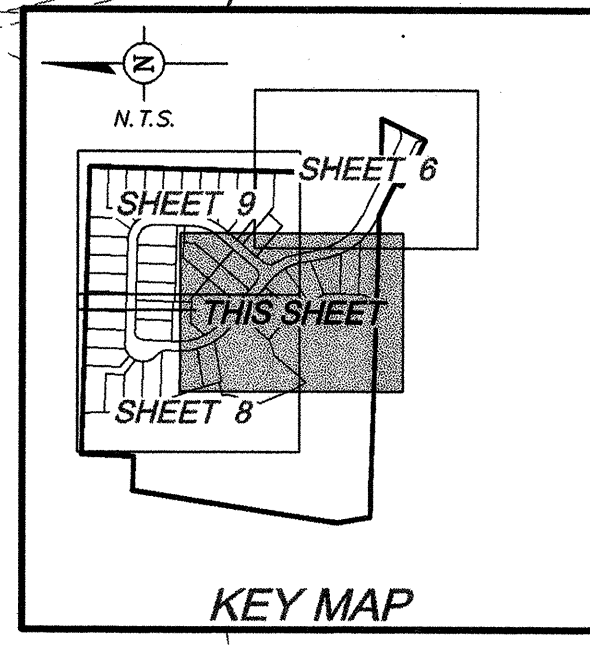


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CITY OF MILL CREEK

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FOR PP 00-55

DIRECTOR OF COMMUNITY DEVELOPMENT DATE \_\_\_\_\_

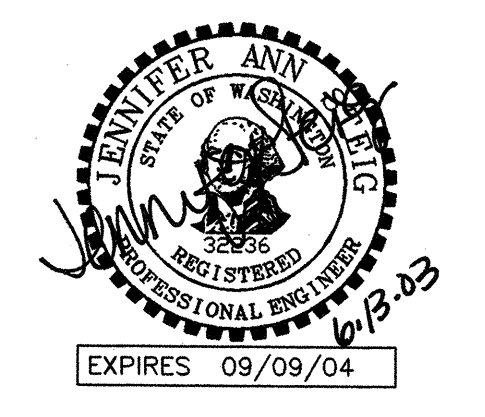


NO.	DATE	REVISION
1	4/12/02	PER CITY COMMENTS
2	5/20/02	PER CITY COMMENTS
3	6/17/02	PER CITY COMMENTS
4	11/18/02	AS-BUILT

DESIGN GROUP	JENNIFFER A. STEIG, P.E.
PROJECT MANAGER	J. STEIG
DESIGNED	H. LONG
CADD	J. STEIG
CHECKED	3/8/02
DATE	09/09/04
FILE NAME	GP2STAD2

**THE VINEYARDS AT MILL CREEK**  
 CITY OF MILL CREEK  
 WASHINGTON  
 DETAILED GRADING PLAN

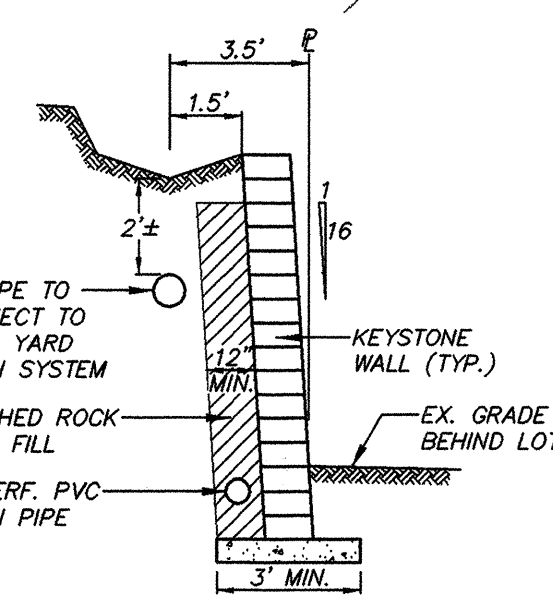
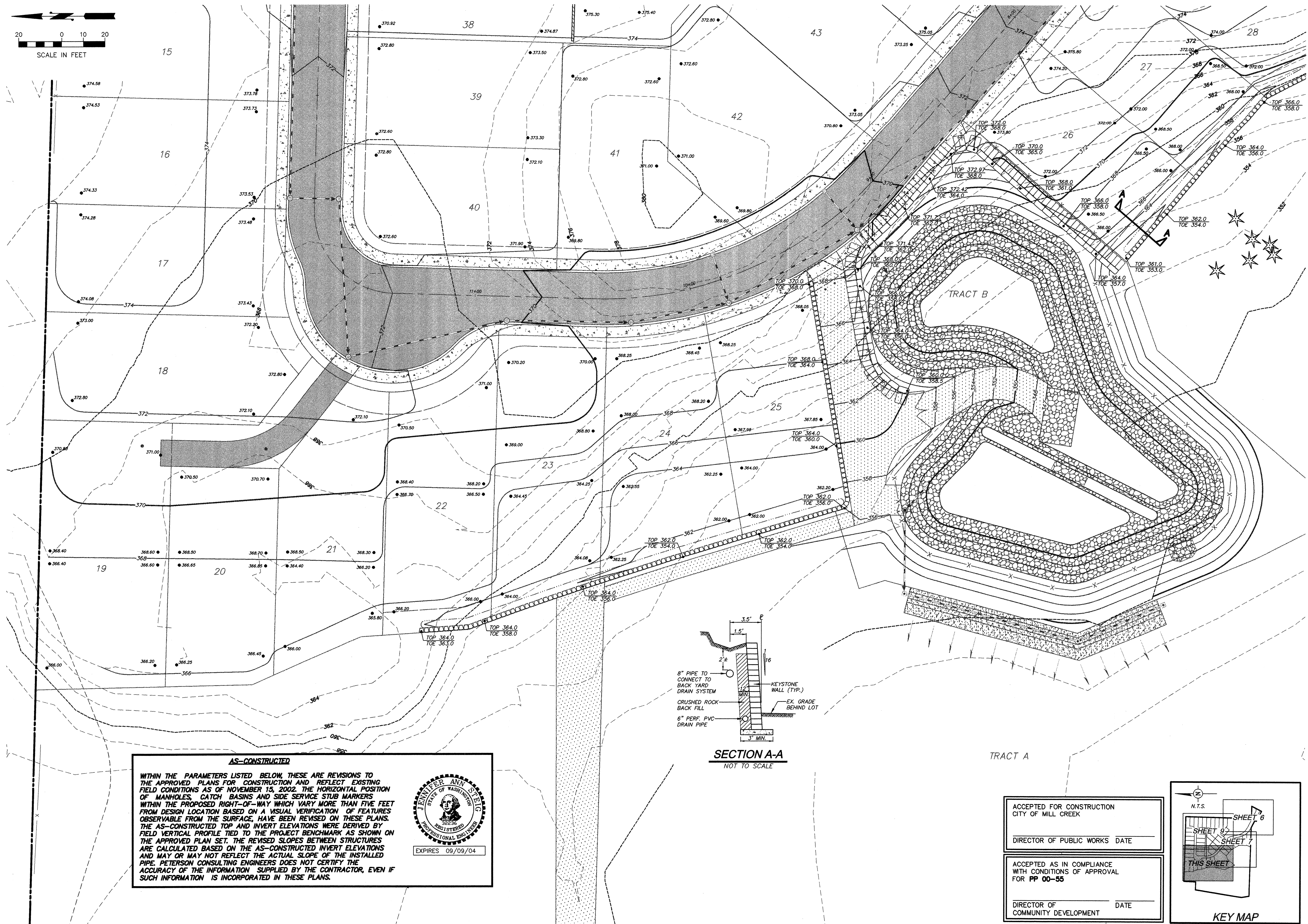
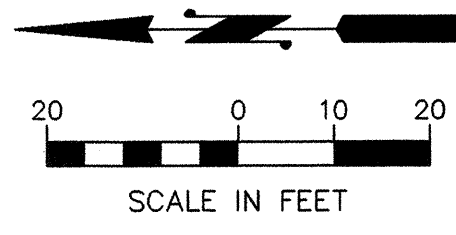


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UNLESS SIGNED AND DATED

**PETERSON CONSULTING ENGINEERS**

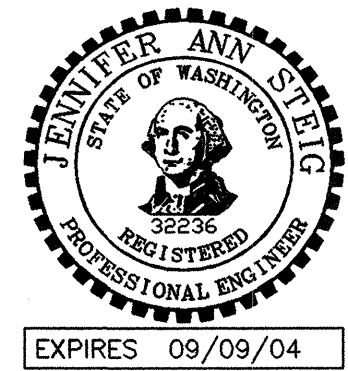
4030 Lake Washington  
Blvd. N.E., Suite 200  
Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER **STAF-0002**  
SHEET NUMBER **7<sup>th</sup> OF 25**



**AS-CONSTRUCTED**

WITHIN THE PARAMETERS LISTED BELOW, THESE ARE REVISIONS TO THE APPROVED PLANS FOR CONSTRUCTION AND REFLECT EXISTING FIELD CONDITIONS AS OF NOVEMBER 15, 2002. THE HORIZONTAL POSITION OF MANHOLES, CATCH BASINS AND SIDE SERVICE STUB MARKERS WITHIN THE PROPOSED RIGHT-OF-WAY WHICH VARY MORE THAN FIVE FEET FROM DESIGN LOCATION BASED ON A VISUAL VERIFICATION OF FEATURES OBSERVABLE FROM THE SURFACE, HAVE BEEN REVISED ON THESE PLANS. THE AS-CONSTRUCTED TOP AND INVERT ELEVATIONS WERE DERIVED BY FIELD VERTICAL PROFILE TIED TO THE PROJECT BENCHMARK AS SHOWN ON THE APPROVED PLAN SET. THE REVISED SLOPES BETWEEN STRUCTURES ARE CALCULATED BASED ON THE AS-CONSTRUCTED INVERT ELEVATIONS AND MAY OR MAY NOT REFLECT THE ACTUAL SLOPE OF THE INSTALLED PIPE. PETERSON CONSULTING ENGINEERS DOES NOT CERTIFY THE ACCURACY OF THE INFORMATION SUPPLIED BY THE CONTRACTOR, EVEN IF SUCH INFORMATION IS INCORPORATED IN THESE PLANS.

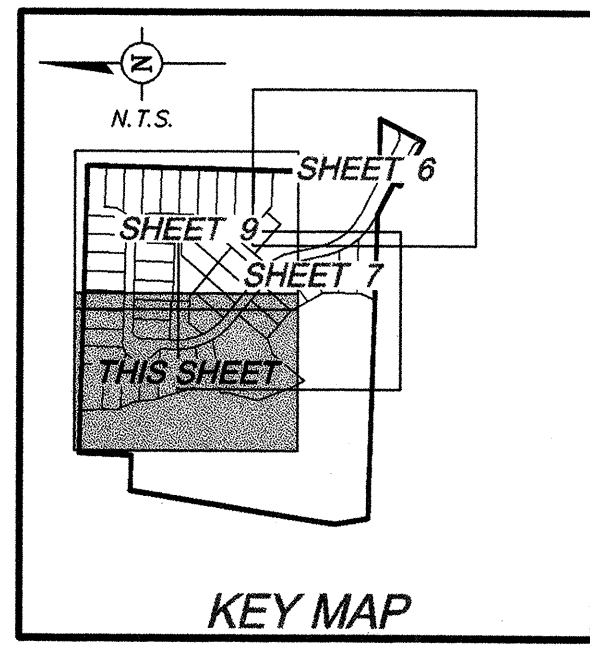


ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE \_\_\_\_\_

ACCEPTED AS IN COMPLIANCE  
WITH CONDITIONS OF APPROVAL  
FOR PP 00-55

DIRECTOR OF COMMUNITY DEVELOPMENT DATE \_\_\_\_\_

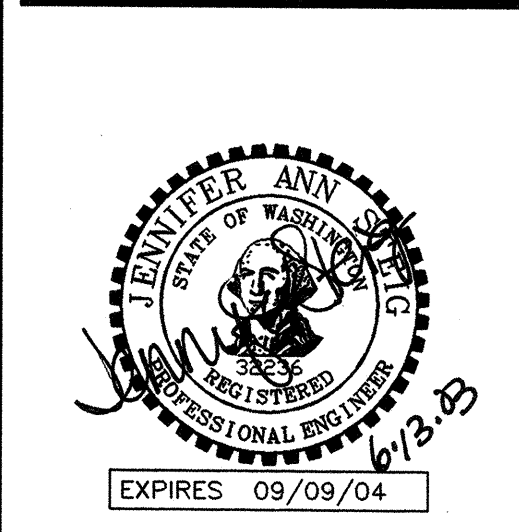


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2	5/20/02	PER CITY COMMENTS
3	6/17/02	PER CITY COMMENTS
4	11/18/02	AS-BUILT

DESIGN GROUP	JENNIFFER A. STEIG P.E.
PROJECT MANAGER	J. STEIG
DESIGNED	H. ONG
CADD	J. STEIG
CHECKED	3/05/02
DATE	3/05/02
FILE NAME	GPSSTAD2

**DETAILED GRADING PLAN**  
  
**THE VINEYARDS AT MILL CREEK**  
  
 CITY OF MILL CREEK  
  
 WASHINGTON



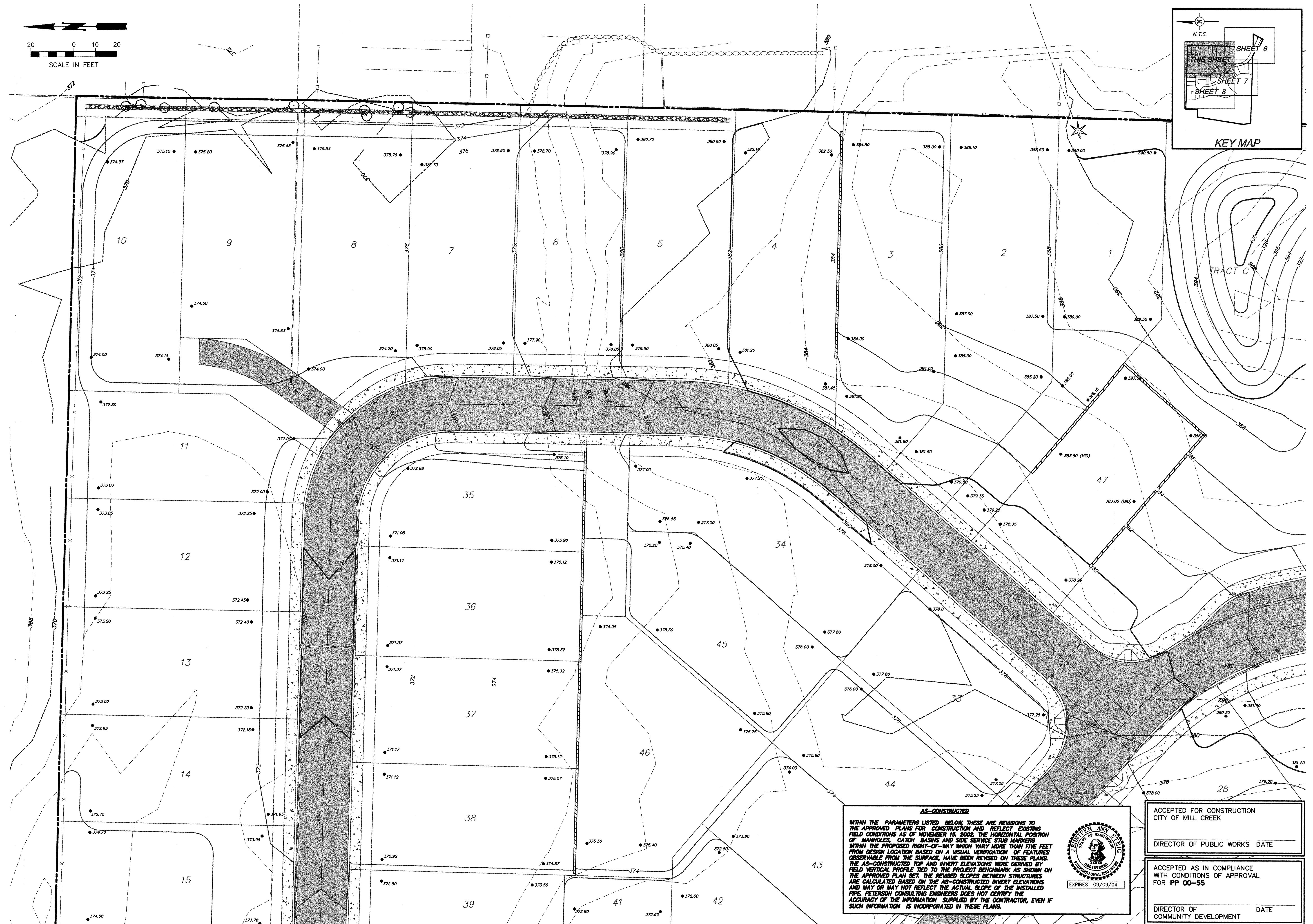
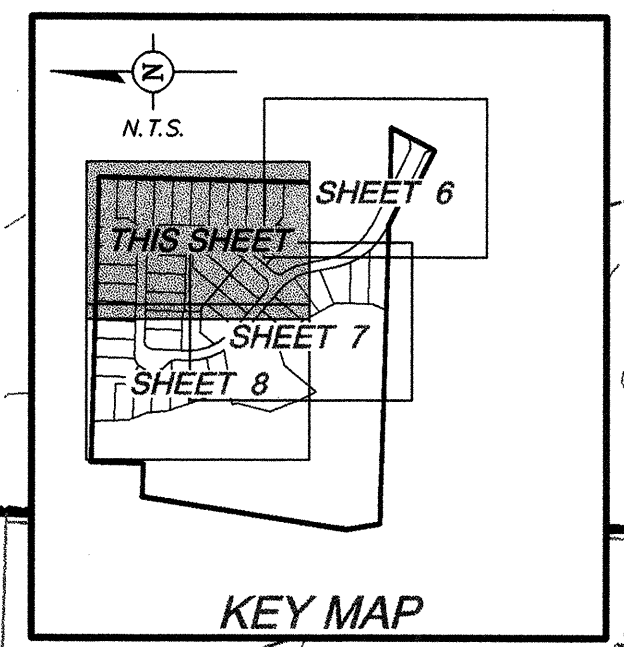
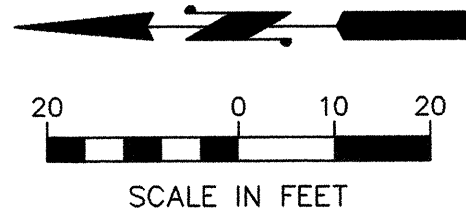
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Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER **STAF-0002**  
SHEET NUMBER **8<sup>AB</sup> OF 25**





BY: OK	FILE NO.	NO.	DATE	REVISION
		1	11/20/02	PER CITY COMMENTS
		2	5/20/02	PER CITY COMMENTS
		3	6/17/02	PER CITY COMMENTS
		4	11/19/02	AS-BUILT

**THE VINEYARDS AT MILL CREEK**

WASHINGTON

CITY OF MILL CREEK

DETAILED GRADING PLAN

STAMP NOT VALID UNLESS SIGNED AND DATED

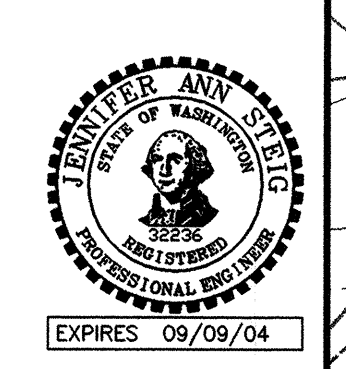
**PETERSON CONSULTING ENGINEERS**

4030 Lake Washington Blvd. N.E., Suite 200  
Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER: **STAF-0002**  
SHEET NUMBER: **9<sup>A</sup> OF 25**

**AS-CONSTRUCTED**

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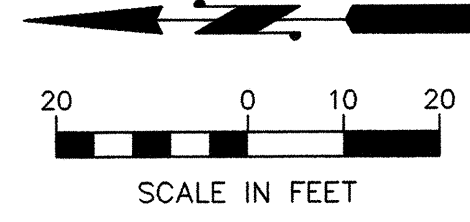


ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE \_\_\_\_\_

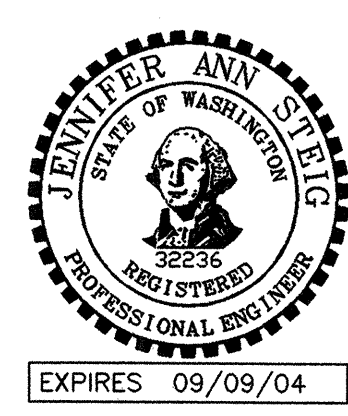
ACCEPTED AS IN COMPLIANCE  
WITH CONDITIONS OF APPROVAL  
FOR PP 00-55

DIRECTOR OF COMMUNITY DEVELOPMENT DATE \_\_\_\_\_



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CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE \_\_\_\_\_

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FOR PP 00-55

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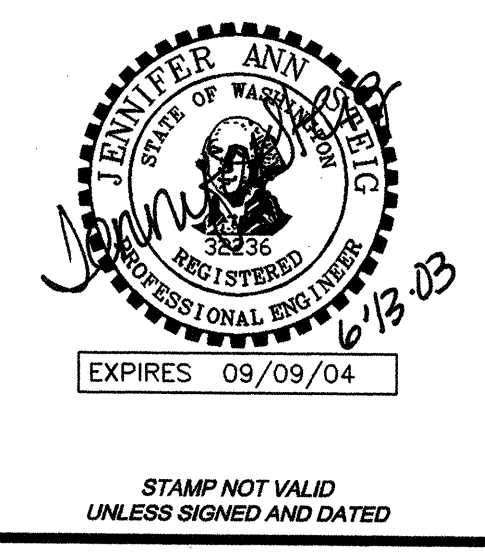
BY: CK	NO. DATE REVISION
ADD: JAS	1/26/02 PER CITY COMMENTS
REV: BMD	6/17/02 PER CITY COMMENTS
	11/19/02 AS-BUILT
DESIGN GROUP	JENNIFER A. STEIG, P.E.
PROJECT MANAGER:	J. STEIG
DESIGNED:	H. ONG
CHECKED:	J. STEIG
DATE:	3/20/02
FILE NAME:	GRSSTAD2

PARK OVER EXCAVATION PLAN

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK

WASHINGTON



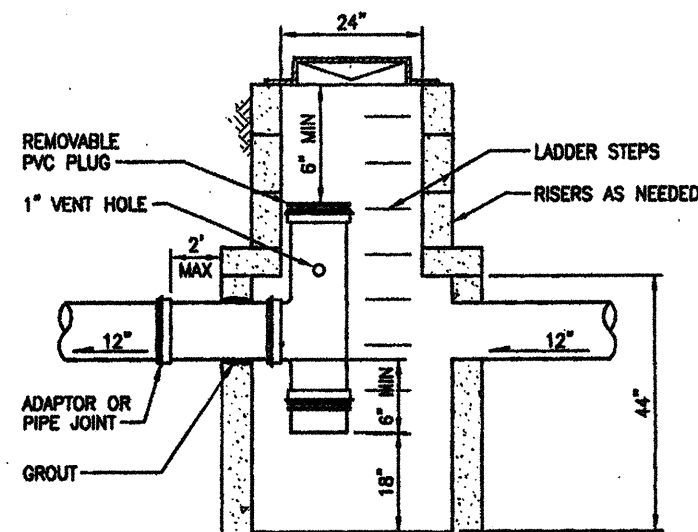
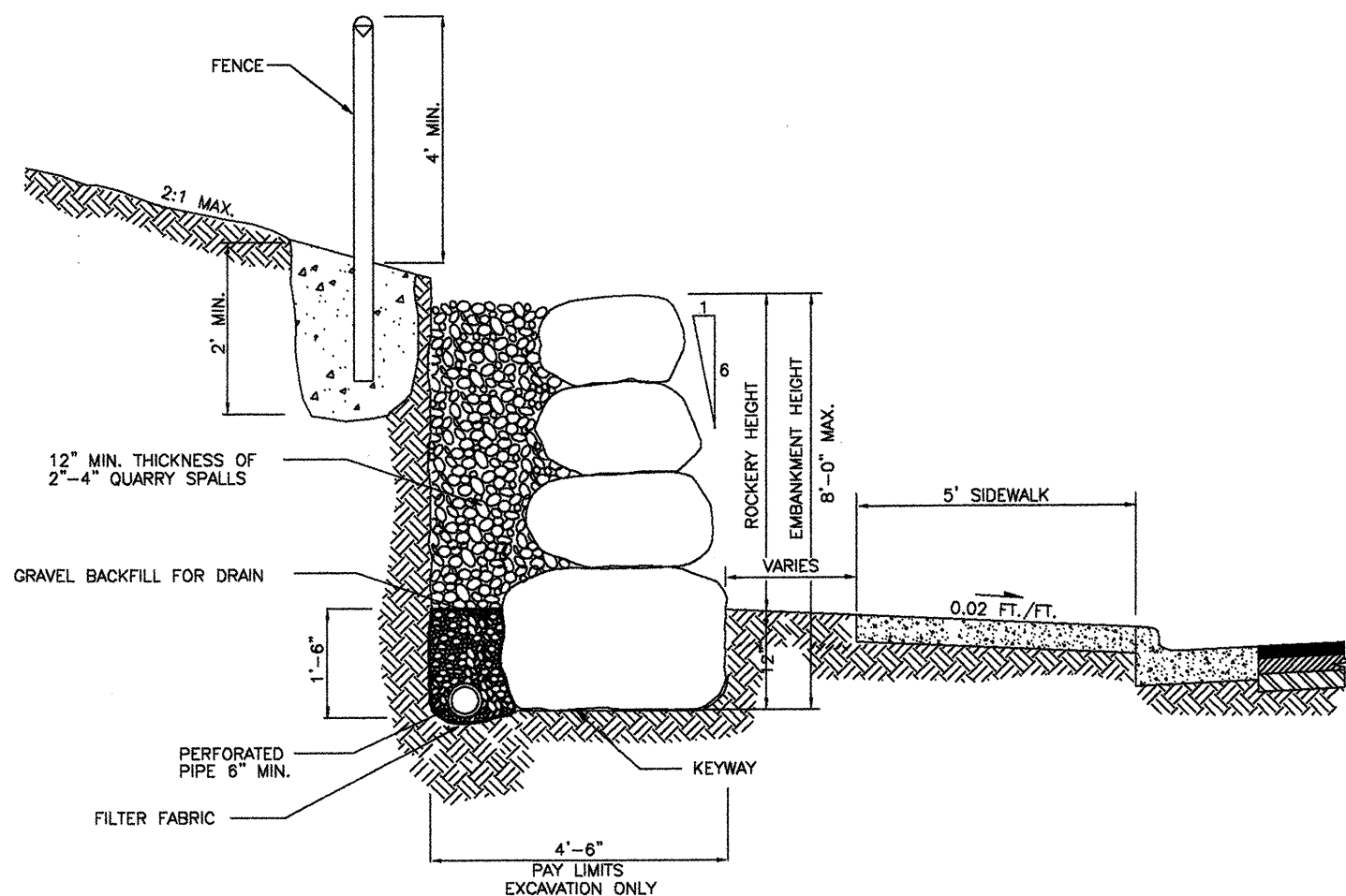
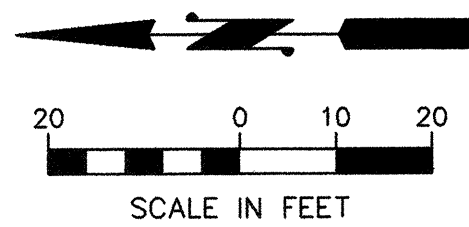
**PETERSON CONSULTING ENGINEERS**

4030 Lake Washington Blvd. N.E., Suite 200  
Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER: **STAF-0002**

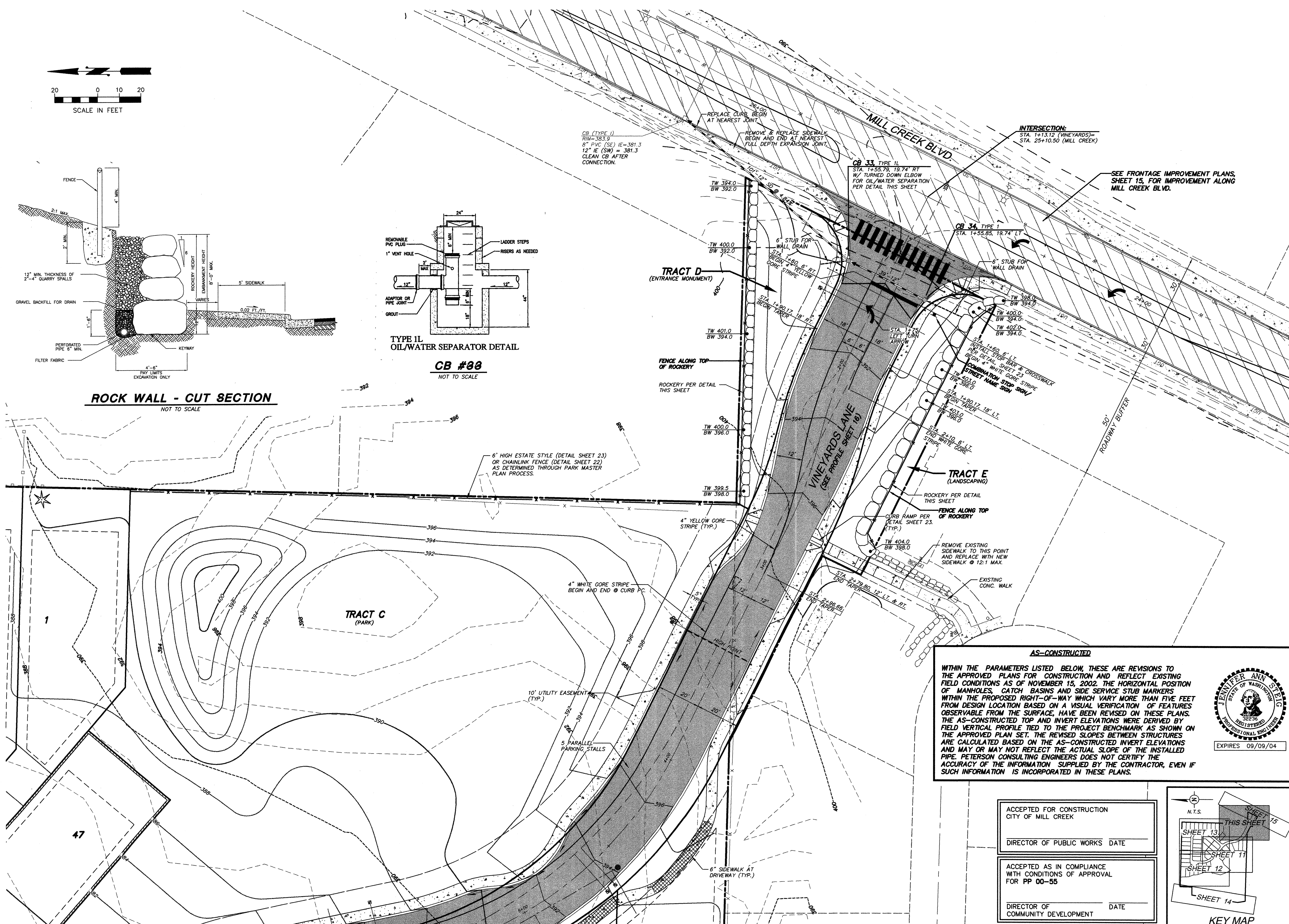
SHEET NUMBER: **9A<sup>AB</sup> OF 25**

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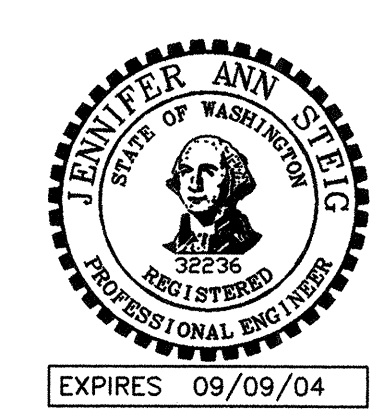
**CB #88**  
NOT TO SCALE

**ROCK WALL - CUT SECTION**  
NOT TO SCALE



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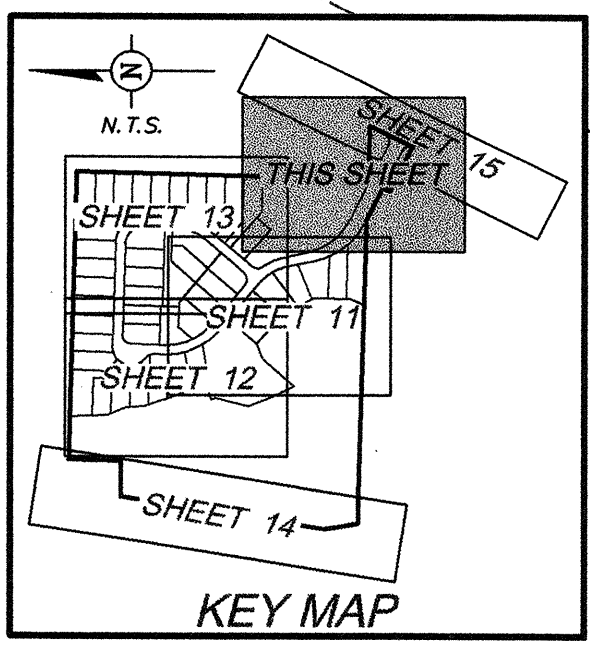


ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE

ACCEPTED AS IN COMPLIANCE  
WITH CONDITIONS OF APPROVAL  
FOR PP 00-55

DIRECTOR OF COMMUNITY DEVELOPMENT DATE



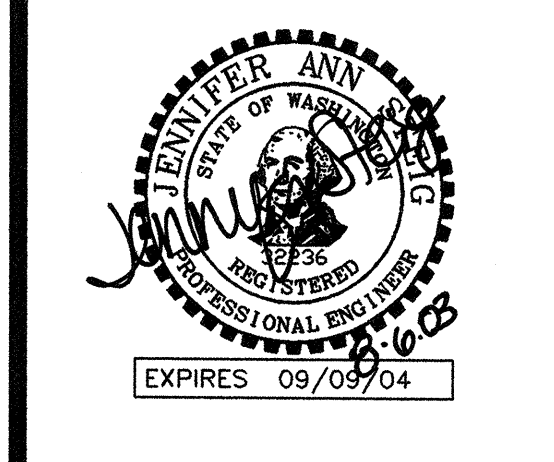
NO.	DATE	REVISION
1	4/12/03	PER CITY COMMENTS
2	8/20/03	PER CITY COMMENTS
3	6/17/03	PER CITY COMMENTS
4	11/18/03	AS-BUILT
5	8/19/03	REVISED AS-BUILT PER CITY COMMENTS

**ROAD AND STORM DRAINAGE PLAN**

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK

WASHINGTON

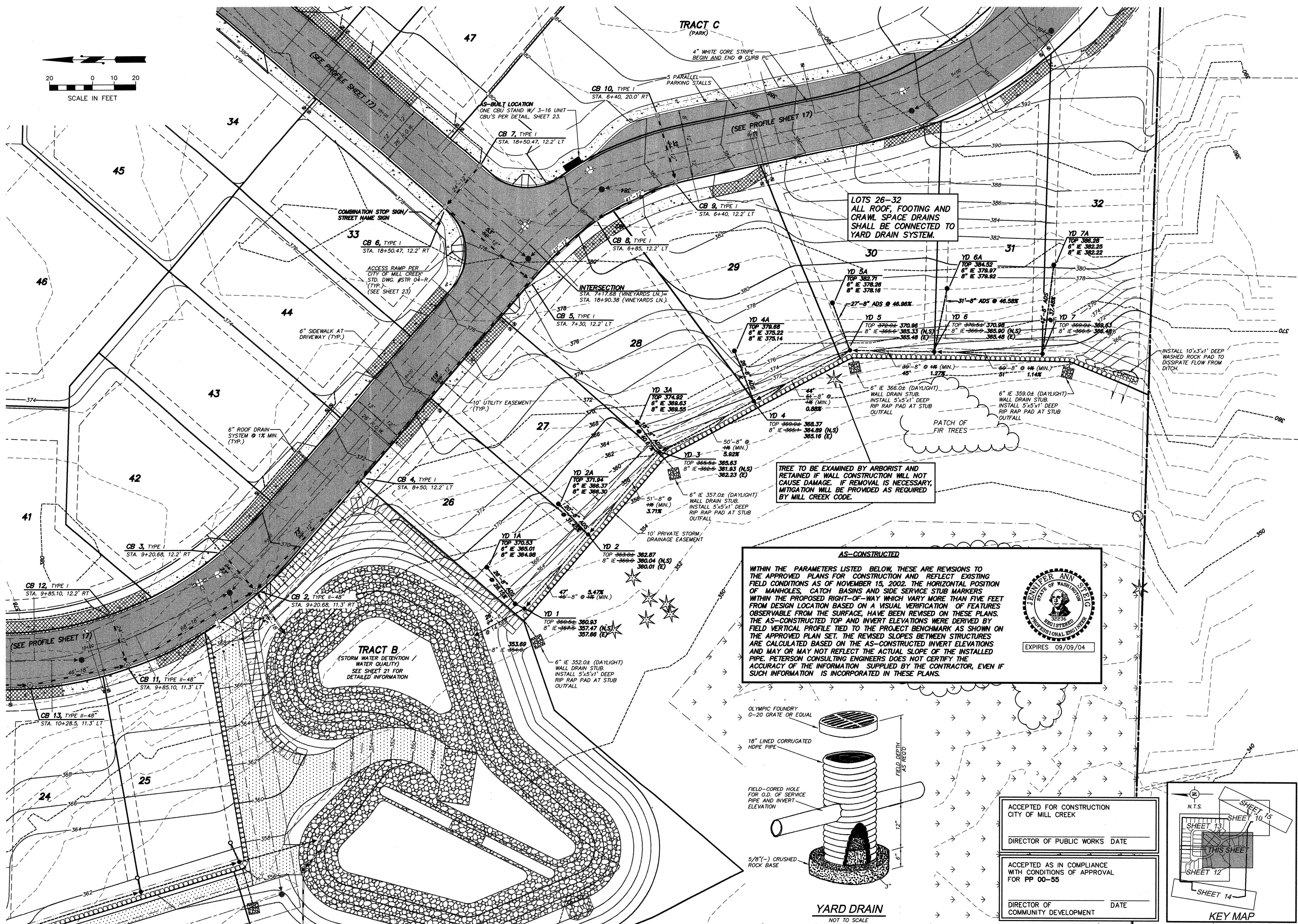
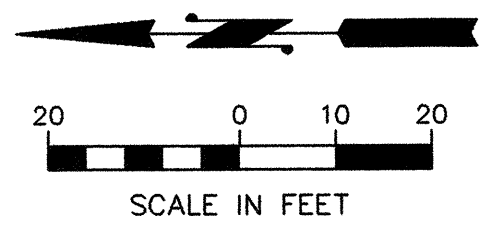


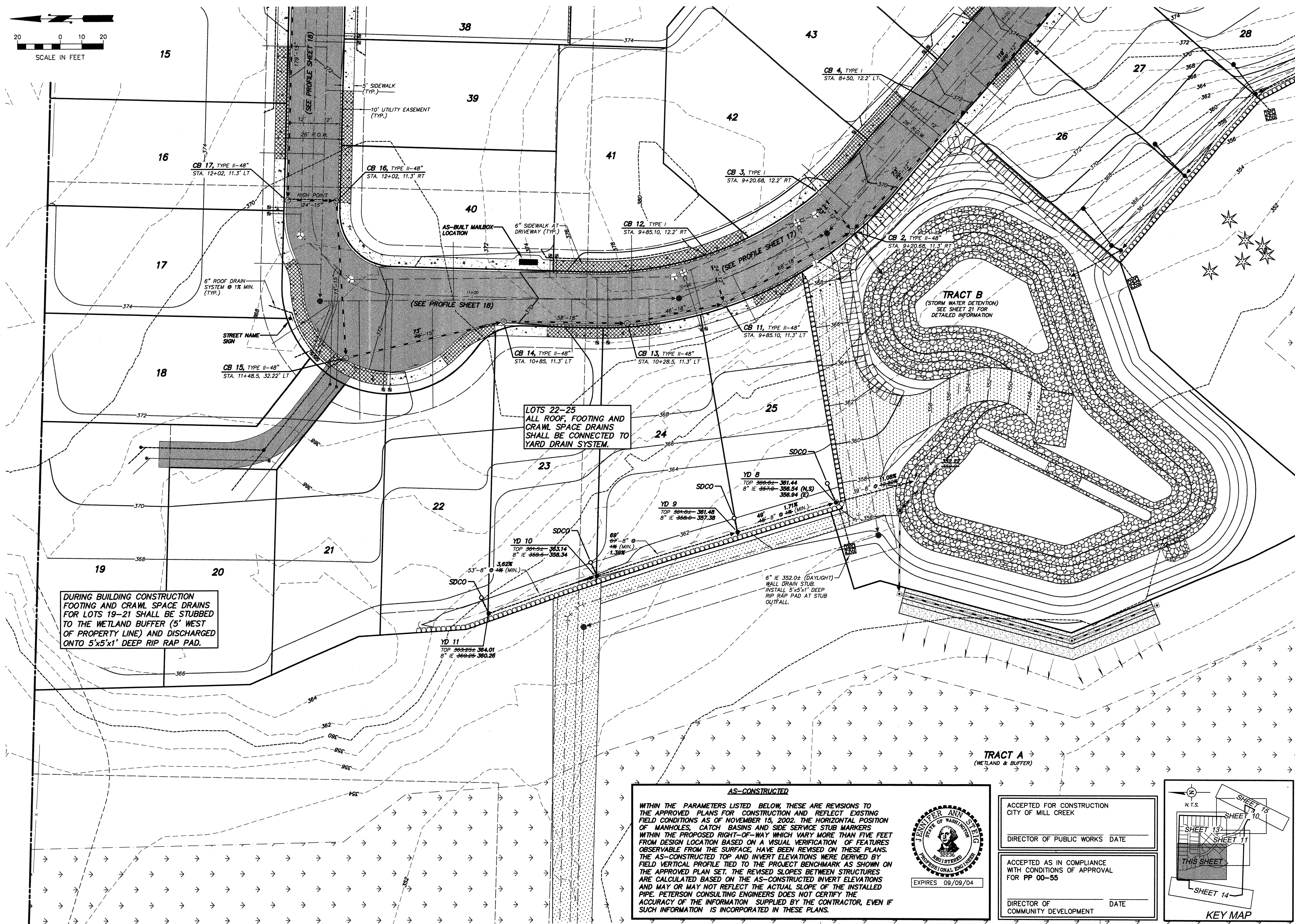
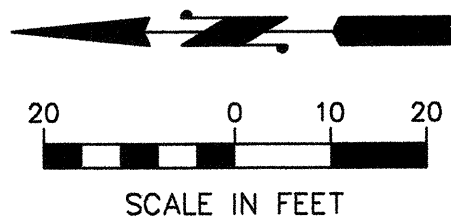
STAMP NOT VALID  
UNLESS SIGNED AND DATED

**PETERSON CONSULTING ENGINEERS**

4030 Lake Washington Blvd. N.E., Suite 200  
Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER **STAF-0002**  
SHEET NUMBER **10<sup>A</sup> OF 25**





NO.	DATE	REVISION
1	4/12/02	PER CITY COMMENTS
2	5/20/02	PER CITY COMMENTS
3	6/17/02	PER CITY COMMENTS
4	11/19/02	AS-BUILT
5	6/8/03	REVISED AS-BUILT PER CITY COMMENTS

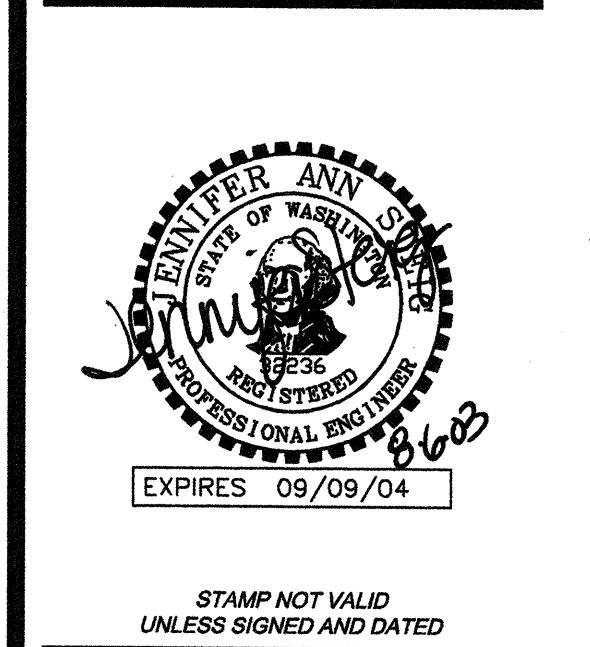
DESIGN GROUP	JENNIFFER A. STEIG, P.E.
PROJECT MANAGER	J. STEIG
DESIGNER	Z. ONG
CADD	J. STEIG
CHECKED	3/8/02
DATE	RS/STAB/2
FILE NAME	

ROAD AND STORM DRAINAGE PLAN

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK

WASHINGTON



**PETERSON CONSULTING ENGINEERS**

4030 Lake Washington Blvd. N.E., Suite 200  
 Kirkland, WA 98033  
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JOB NUMBER **STAF-0002**  
 SHEET NUMBER **12 OF 25**

**AS-CONSTRUCTED**

WITHIN THE PARAMETERS LISTED BELOW, THESE ARE REVISIONS TO THE APPROVED PLANS FOR CONSTRUCTION AND REFLECT EXISTING FIELD CONDITIONS AS OF NOVEMBER 15, 2002. THE HORIZONTAL POSITION OF MANHOLES, CATCH BASINS AND SIDE SERVICE STUB MARKERS WITHIN THE PROPOSED RIGHT-OF-WAY WHICH VARY MORE THAN FIVE FEET FROM DESIGN LOCATION BASED ON A VISUAL VERIFICATION OF FEATURES OBSERVABLE FROM THE SURFACE, HAVE BEEN REVISED ON THESE PLANS. THE AS-CONSTRUCTED TOP AND INVERT ELEVATIONS WERE DERIVED BY FIELD VERTICAL PROFILE TIED TO THE PROJECT BENCHMARK AS SHOWN ON THE APPROVED PLAN SET. THE REVISED SLOPES BETWEEN STRUCTURES ARE CALCULATED BASED ON THE AS-CONSTRUCTED INVERT ELEVATIONS AND MAY OR MAY NOT REFLECT THE ACTUAL SLOPE OF THE INSTALLED PIPE. PETERSON CONSULTING ENGINEERS DOES NOT CERTIFY THE ACCURACY OF THE INFORMATION SUPPLIED BY THE CONTRACTOR, EVEN IF SUCH INFORMATION IS INCORPORATED IN THESE PLANS.

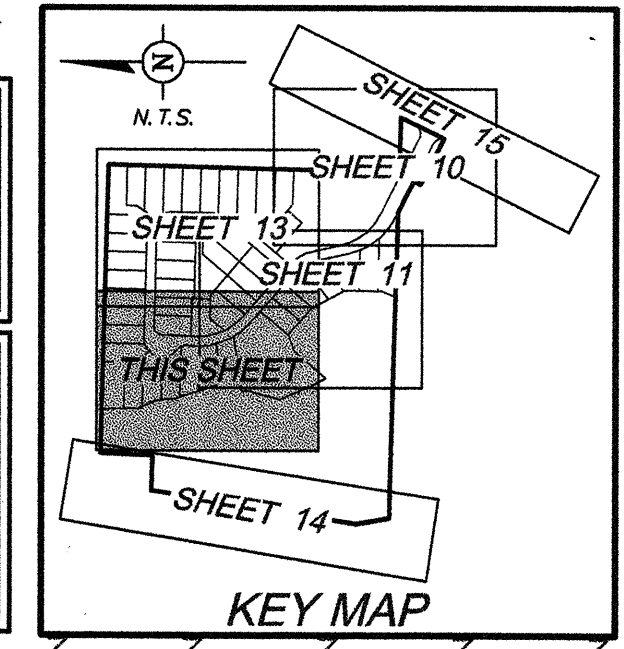
ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK

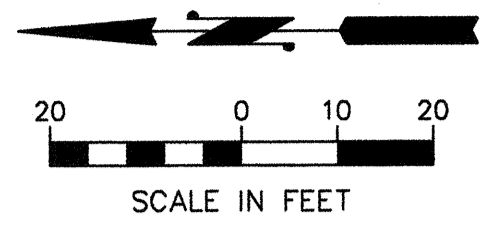
DIRECTOR OF PUBLIC WORKS DATE \_\_\_\_\_

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ACCEPTED AS IN COMPLIANCE  
WITH CONDITIONS OF APPROVAL  
FOR PP 00-55

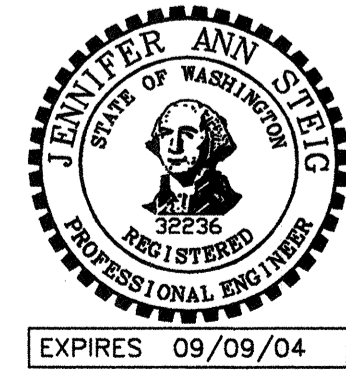
DIRECTOR OF COMMUNITY DEVELOPMENT DATE \_\_\_\_\_





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CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS    DATE

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COMMUNITY DEVELOPMENT    DATE

NO.	DATE	REVISION
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3	6/17/03	PER CITY COMMENTS
4	11/18/03	AS-BUILT
5	8/9/03	REVISED AS-BUILT PER CITY COMMENTS

DESIGN GROUP: JENNIER A. STEIG, P.E.

PROJECT MANAGER: J. STEIG

DESIGNER: H. LONG

CHECKED: J. STEIG

DATE: 3/06/02

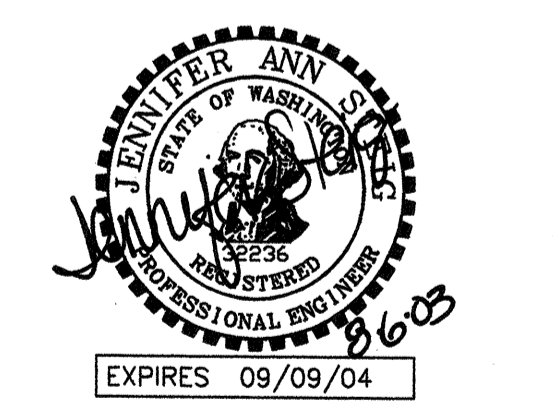
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ROAD AND STORM DRAINAGE PLAN

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK

WASHINGTON



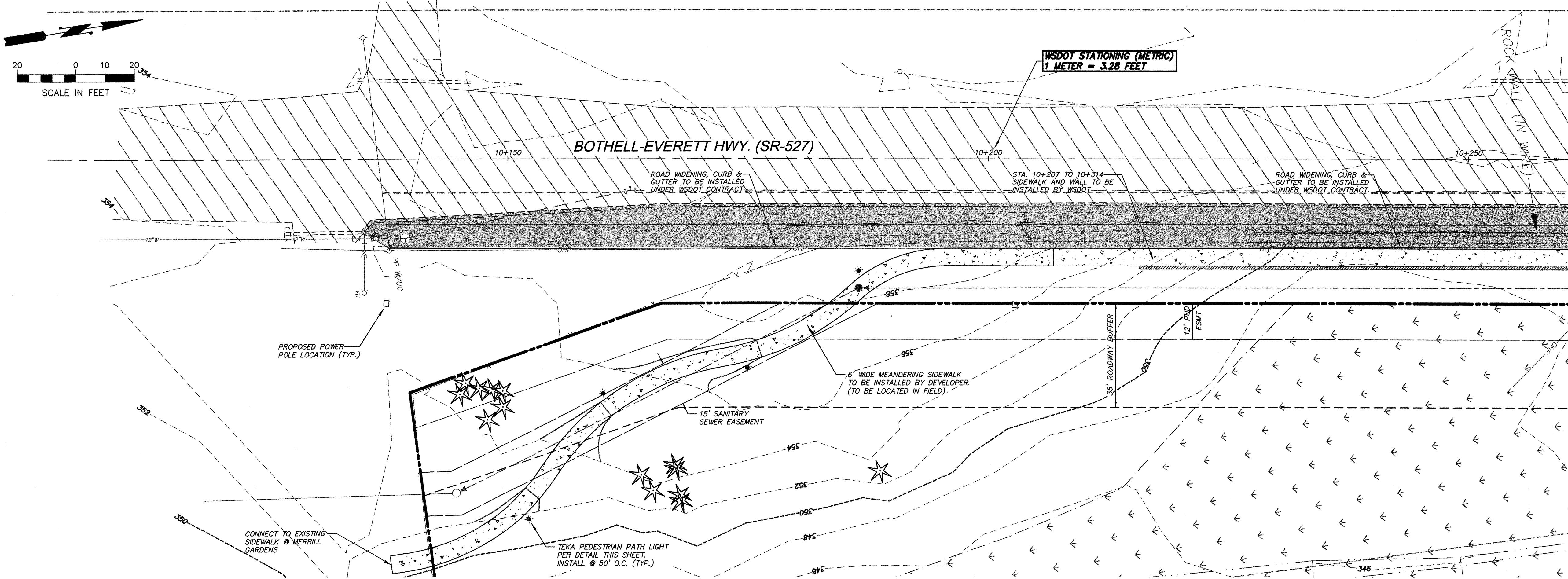
STAMP NOT VALID  
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Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER: **STAF-0002**

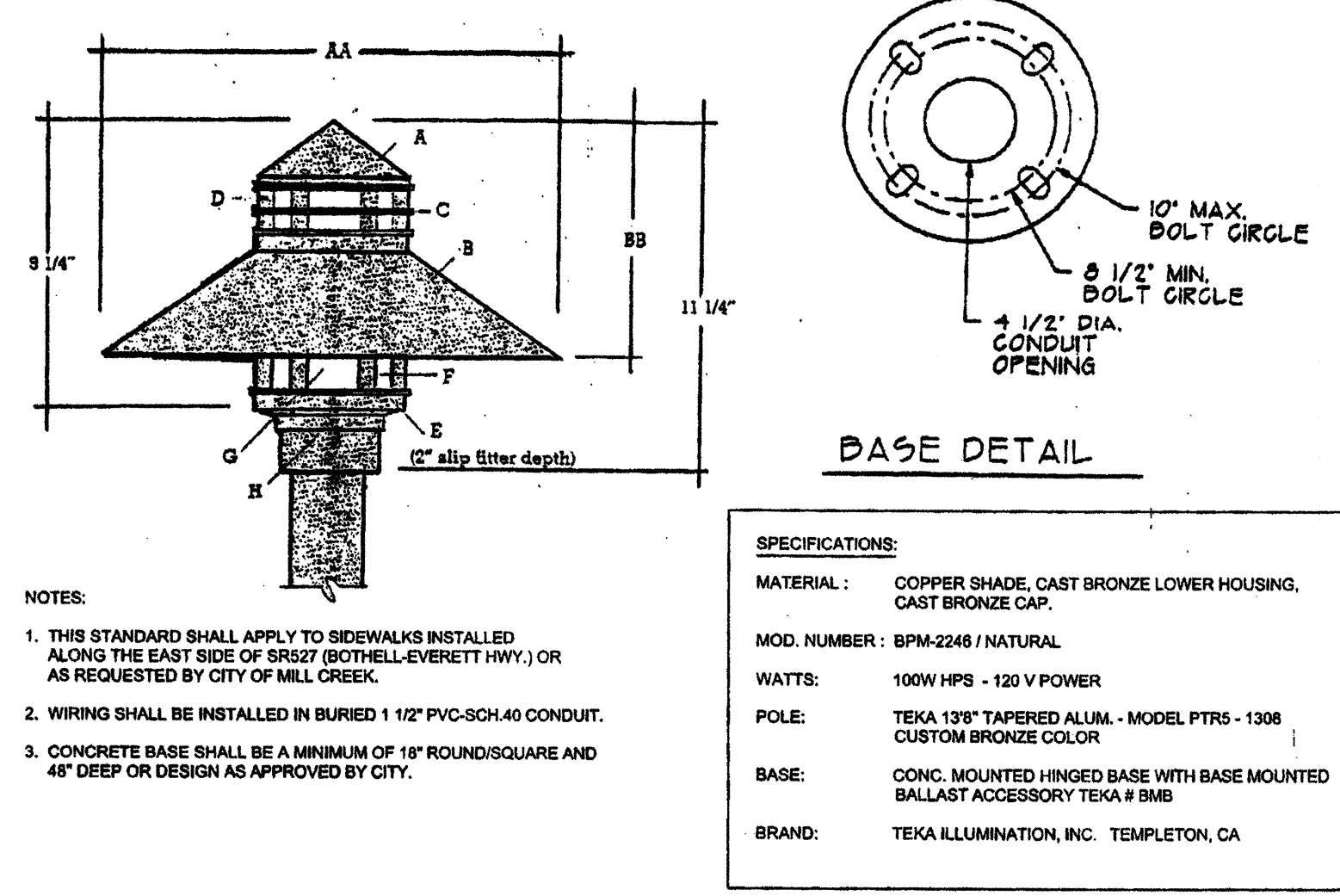
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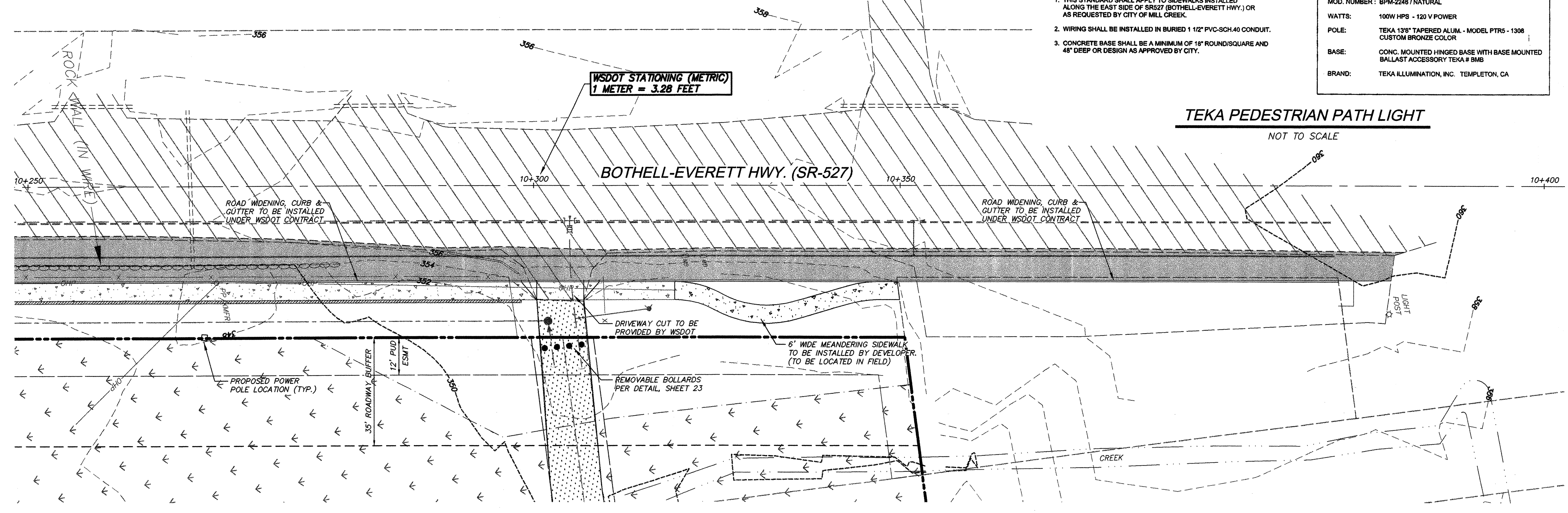
SEE THIS SHEET BELOW

**AS-CONSTRUCTED**

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SEE THIS SHEET ABOVE



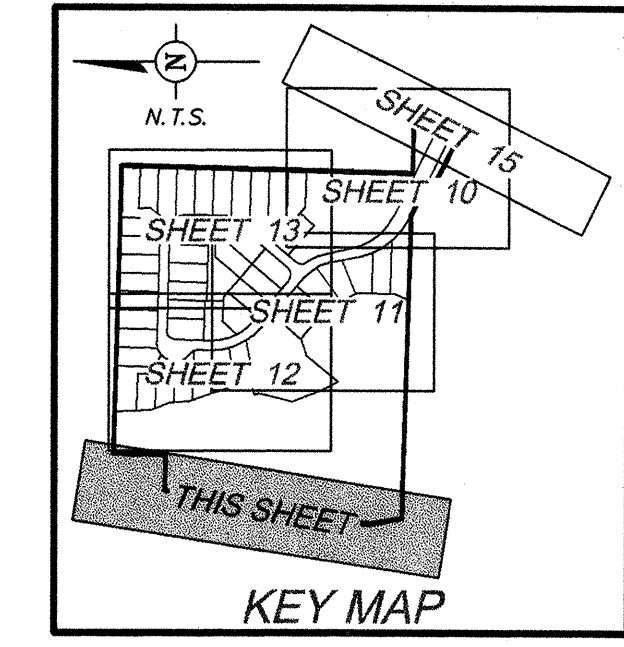
**TEKA PEDESTRIAN PATH LIGHT**  
NOT TO SCALE

ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE \_\_\_\_\_

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DIRECTOR OF COMMUNITY DEVELOPMENT DATE \_\_\_\_\_



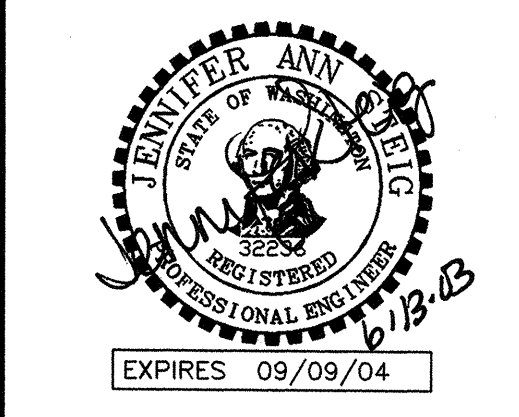
NO.	DATE	REVISION
1	4/12/02	FOR CITY COMMENTS
2	5/20/02	FOR CITY COMMENTS
3	6/17/02	FOR CITY COMMENTS
4	11/16/02	AS-BUILT

DESIGN GROUP: JENNIFFER A. STEIG, P.E.  
 PROJECT MANAGER: J. STEIG  
 DESIGNED: H. ONG  
 CHECKED: J. STEIG  
 DATE: 9/05/02  
 FILE NAME: F15TA02

FRONTAGE IMPROVEMENTS PLAN  
SR-527 (BOTHELL-EVERETT HWY.)

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK  
WASHINGTON

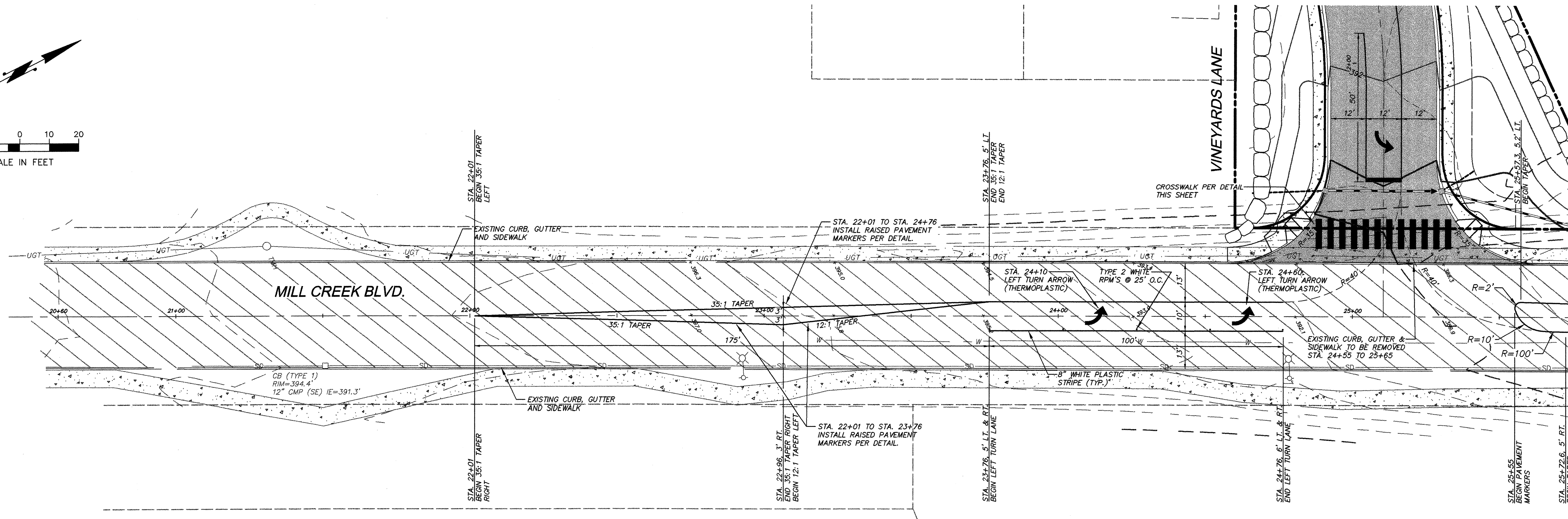
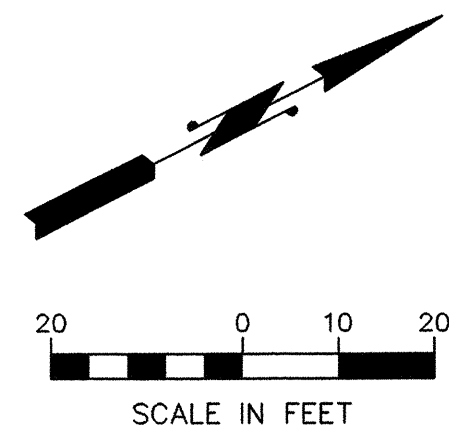


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**PETERSON CONSULTING ENGINEERS**

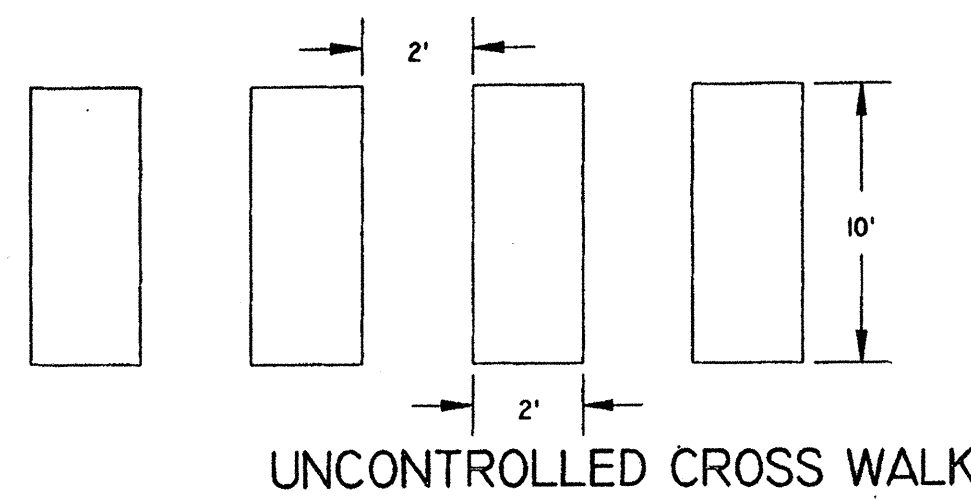
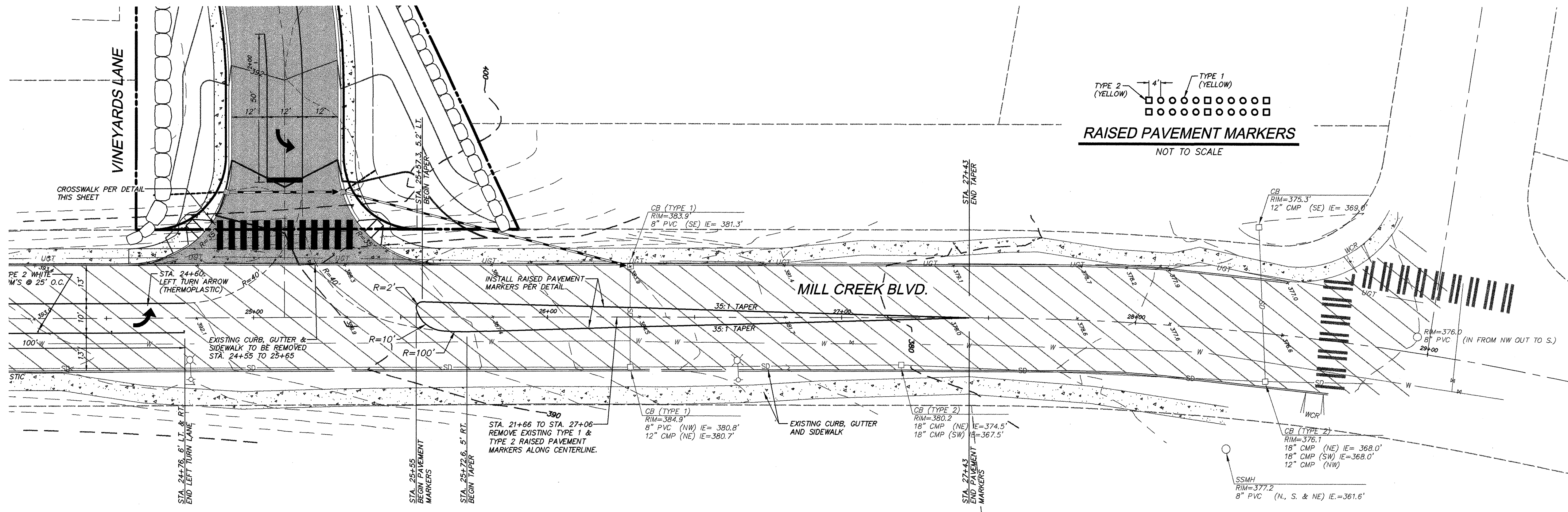
4030 Lake Washington Blvd. N.E., Suite 200  
 Kirkland, WA 98033  
 Tel (425) 827-5874  
 Fax (425) 822-7216

JOB NUMBER: STAF-0002  
 SHEET NUMBER: 14<sup>AB</sup> OF 25



SEE THIS SHEET BELOW

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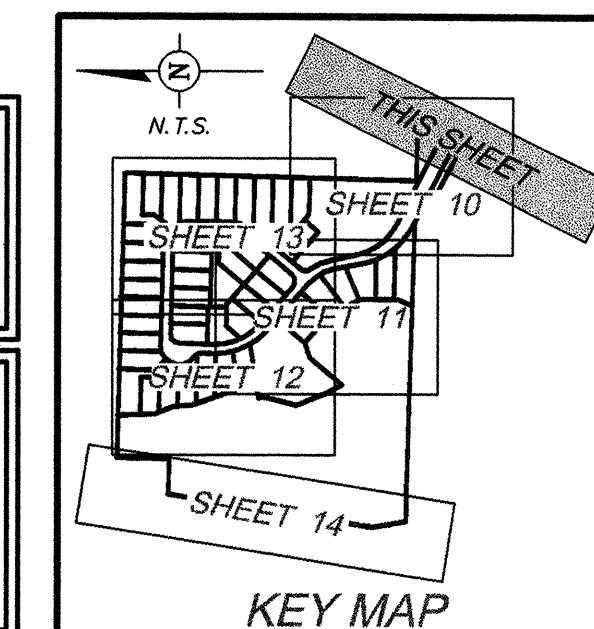


**NOTES**  
 1. CROSS WALKS AND STOP BARS SHALL BE THERMO-PLASTIC WITH GLASS BEAD SURFACE. PAINT WILL BE ALLOWED ONLY WITH APPROVAL BY THE CITY ENGINEER AND SHALL BE A NO HEAT, INSTANT DRY PAVEMENT MARKING.  
 2. PAVEMENT SHALL BE SWEEPED BEFORE APPLICATION.  
 3. LOCATIONS SHALL BE APPROVED BY THE CITY ENGINEER.

**AS-CONSTRUCTED**

WITHIN THE PARAMETERS LISTED BELOW, THESE ARE REVISIONS TO THE APPROVED PLANS FOR CONSTRUCTION AND REFLECT EXISTING FIELD CONDITIONS AS OF NOVEMBER 15, 2002. THE HORIZONTAL POSITION OF MANHOLES, CATCH BASINS AND SIDE SERVICE STUD MARKERS WITHIN THE PROPOSED RIGHT-OF-WAY WHICH VARY MORE THAN FIVE FEET FROM DESIGN LOCATION BASED ON A VISUAL VERIFICATION OF FEATURES OBSERVABLE FROM THE SURFACE, HAVE BEEN REVISED ON THESE PLANS. THE AS-CONSTRUCTED TOP AND INVERT ELEVATIONS WERE DERIVED BY FIELD VERTICAL PROFILE TIED TO THE PROJECT BENCHMARK AS SHOWN ON THE APPROVED PLAN SET. THE REVISED SLOPES BETWEEN STRUCTURES ARE CALCULATED BASED ON THE AS-CONSTRUCTED INVERT ELEVATIONS AND MAY OR MAY NOT REFLECT THE ACTUAL SLOPE OF THE INSTALLED PIPE. PETERSON CONSULTING ENGINEERS DOES NOT CERTIFY THE ACCURACY OF THE INFORMATION SUPPLIED BY THE CONTRACTOR, EVEN IF SUCH INFORMATION IS INCORPORATED IN THESE PLANS.

ACCEPTED FOR CONSTRUCTION CITY OF MILL CREEK	DATE
DIRECTOR OF PUBLIC WORKS	
ACCEPTED AS IN COMPLIANCE WITH CONDITIONS OF APPROVAL FOR PP 00-55	DATE
DIRECTOR OF COMMUNITY DEVELOPMENT	



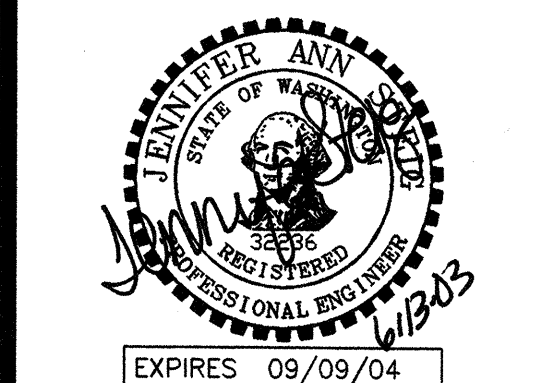
NO.	DATE	REVISION
1	4/12/03	REV CITY COMMENTS
2	5/29/03	REV CITY COMMENTS
3	6/17/03	REV CITY COMMENTS
4	11/16/04	AS-BUILT

**FRONTAGE IMPROVEMENTS PLAN**  
**MILL CREEK BOULEVARD**

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK

WASHINGTON



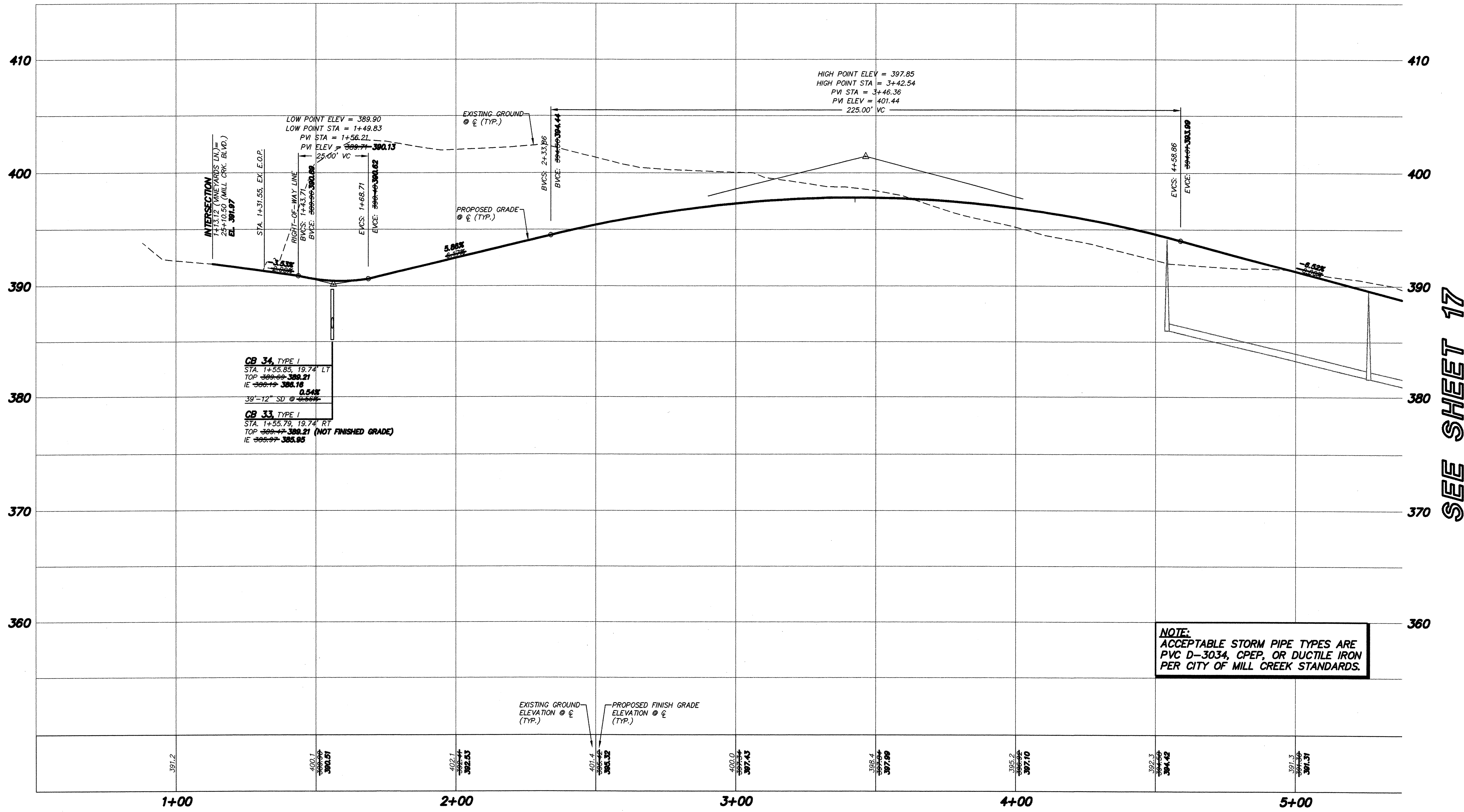
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UNLESS SIGNED AND DATED

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JOB NUMBER **STAF-0002**  
 SHEET NUMBER **15<sup>AB</sup> OF 25**





**CB 34, TYPE I**  
 STA. 1+55.85 TO 1+97.74 LT  
 TOP 389.90 TO 389.21  
 IE 389.19 TO 388.18  
 39'-12" SD @ -0.54%

**CB 33, TYPE I**  
 STA. 1+55.75 TO 1+97.74 RT  
 TOP 389.90 TO 389.21 (NOT FINISHED GRADE)  
 IE 389.97 TO 388.85

**NOTE:**  
 ACCEPTABLE STORM PIPE TYPES ARE  
 PVC D-3034, CPEP, OR DUCTILE IRON  
 PER CITY OF MILL CREEK STANDARDS.

**VINEYARDS LANE**  
 SCALE: 1" = 20' HORIZ.  
 1" = 5' VERT.

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ACCEPTED FOR CONSTRUCTION  
 CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE \_\_\_\_\_

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 WITH CONDITIONS OF APPROVAL  
 FOR PP 00-55

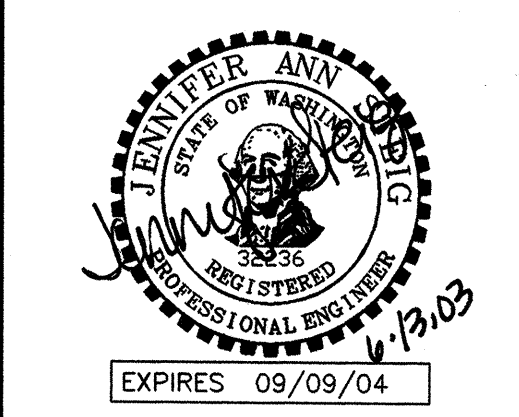
DIRECTOR OF COMMUNITY DEVELOPMENT DATE \_\_\_\_\_

NO.	DATE	REVISION
1	4/12/04	REV CITY COMMENTS
2	5/20/04	REV CITY COMMENTS
3	6/17/04	REV CITY COMMENTS
4	11/19/04	AS-BUILT

ROAD AND STORM DRAINAGE PROFILE

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK WASHINGTON



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JOB NUMBER **STAF-0002**

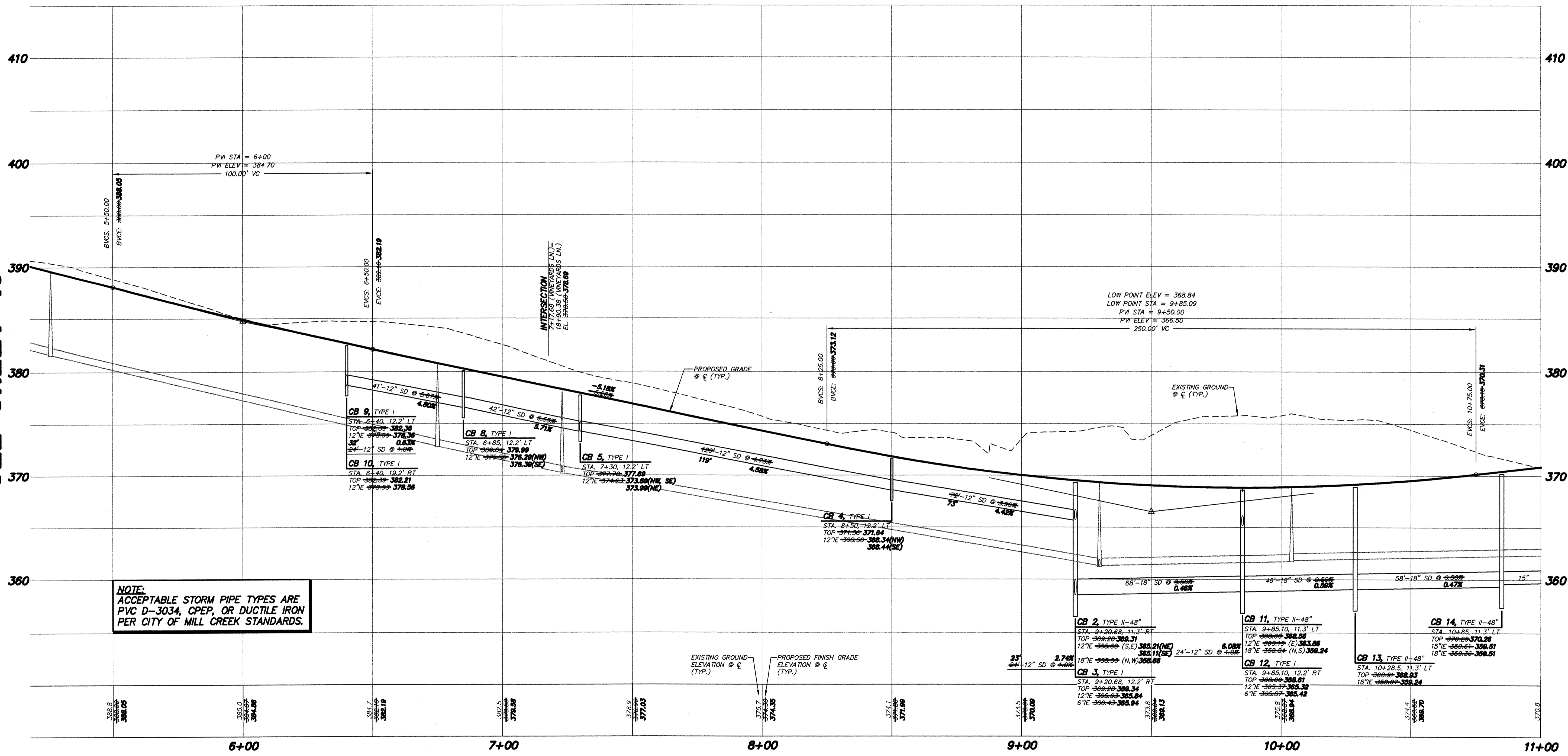
SHEET NUMBER **16<sup>AB</sup> OF 25**

**THE VINEYARDS HDEV-2347**

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SEE SHEET 16

SEE SHEET 18



VINEYARDS LANE  
 SCALE: 1" = 20' HORIZ.  
 1" = 5' VERT.

**AS-CONSTRUCTED**

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 CITY OF MILL CREEK

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DIRECTOR OF COMMUNITY DEVELOPMENT DATE \_\_\_\_\_

NO.	DATE	REVISION
1	4/20/02	PER CITY COMMENTS
2	5/20/02	PER CITY COMMENTS
3	6/17/02	PER CITY COMMENTS
4	9/17/02	REV. STORM FOR FIELD CONDITION
5	11/16/02	AS-BUILT

DESIGN GROUP  
 JENNIFFER ANN STEIG, P.E.  
 PROJECT MANAGER

DESIGNED: J. STEIG  
 CHECKED: H. ONG  
 DATE: 3/05/02

FILE NAME: RP25TA02

ROAD AND STORM DRAINAGE PROFILE

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK

WASHINGTON

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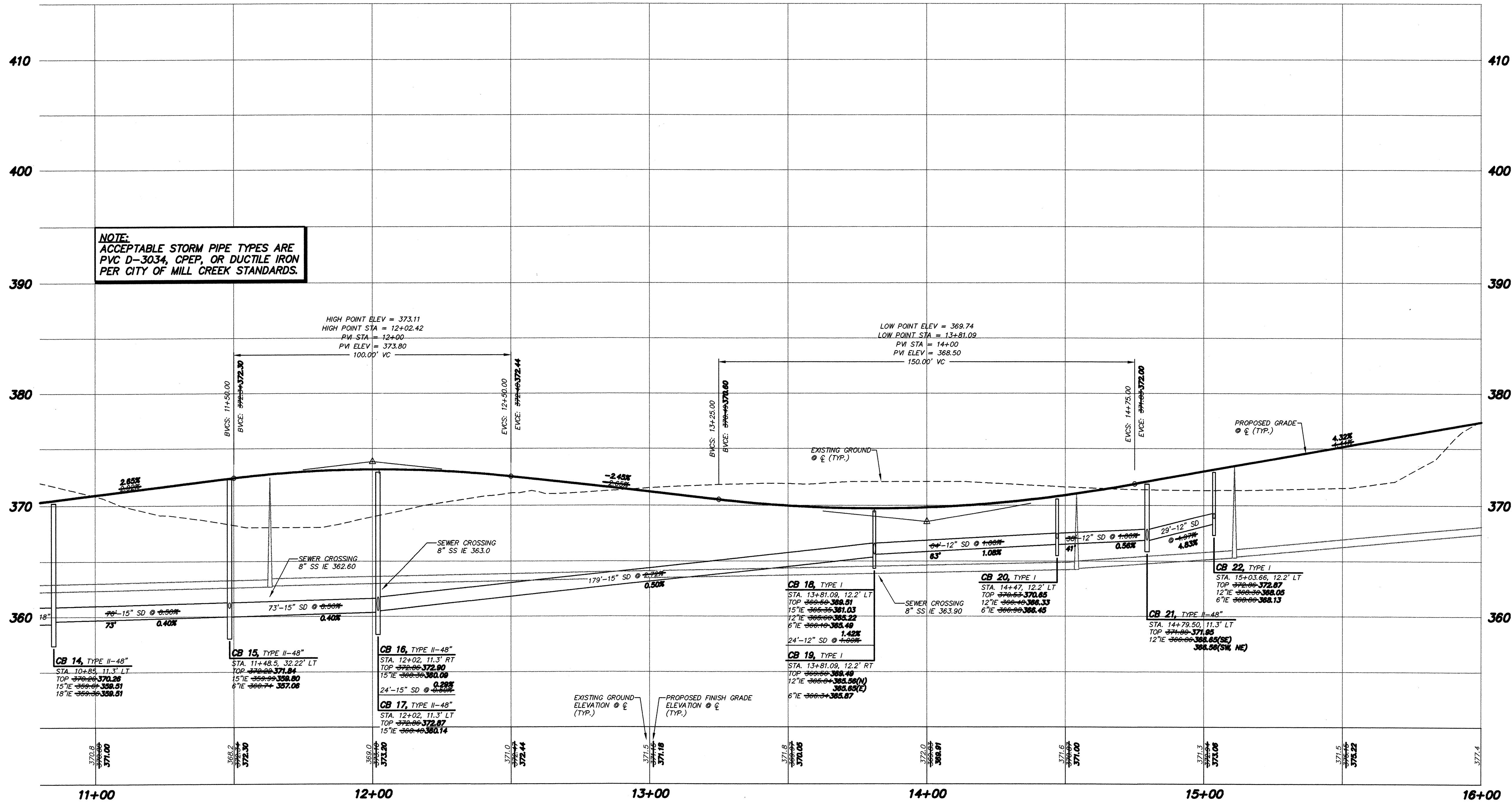
JOB NUMBER: **STAF-0002**

SHEET NUMBER: **17** OF **25**

THE VINEYARDS HDEV-2348

SEE SHEET 17

SEE SHEET 19



NO.	DATE	REVISION
1	4/2/02	PER CITY COMMENTS
2	5/20/02	PER CITY COMMENTS
3	6/17/02	PER CITY COMMENTS
4	8/17/02	REV. STORM PER FIELD CONDITIONS
5	11/16/02	AS-BUILT

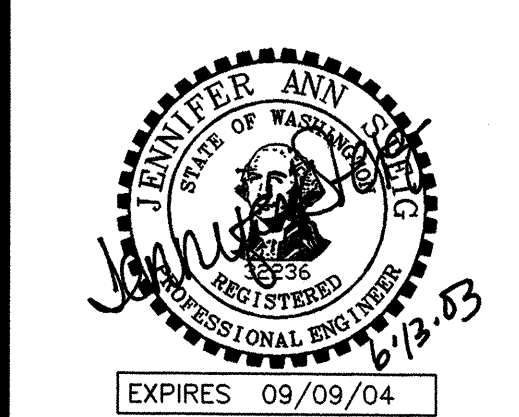
  

DESIGN GROUP	PROJECT MANAGER	DESIGNED	CADD	CHECKED	DATE	FILE NAME
JENNIFER A. STEIG, P.E.	J. STEIG	A. ONG	J. STEIG	3/8/02	PPS27A02	WASHINGTON

ROAD AND STORM DRAINAGE PROFILE

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK



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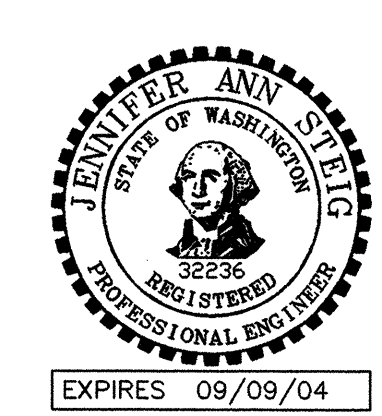
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SHEET NUMBER: **18<sup>AB</sup> OF 25**

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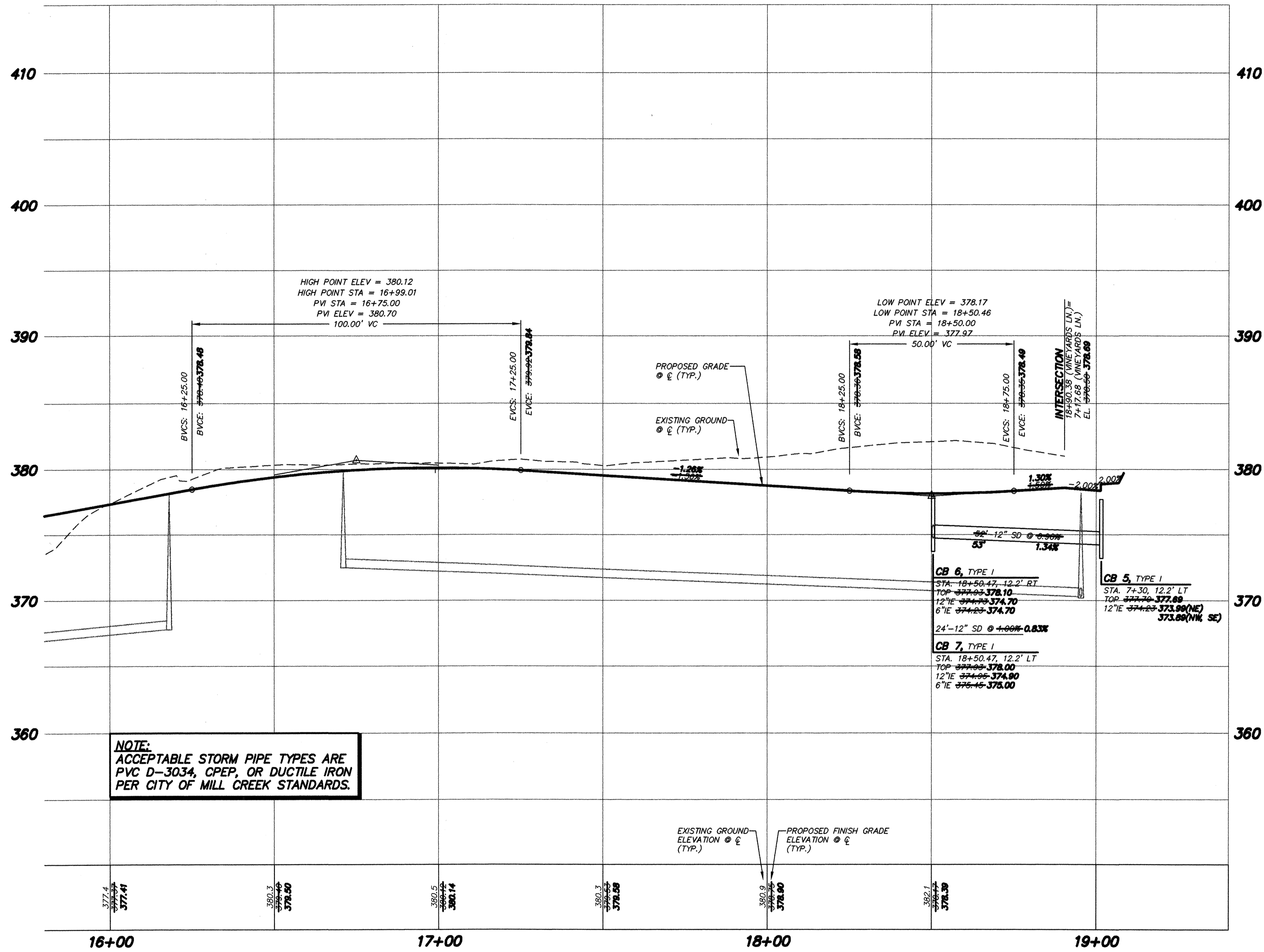
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CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE \_\_\_\_\_

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WITH CONDITIONS OF APPROVAL  
FOR PP 00-55

DIRECTOR OF COMMUNITY DEVELOPMENT DATE \_\_\_\_\_

SEE SHEET 18



**NOTE:**  
ACCEPTABLE STORM PIPE TYPES ARE  
PVC D-3034, CPEP, OR DUCTILE IRON  
PER CITY OF MILL CREEK STANDARDS.

**VINEYARDS LANE**  
SCALE: 1" = 20' HORIZ.  
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CITY OF MILL CREEK

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NO.	DATE	REVISION
1	1/22/02	FOR CITY COMMENTS
2	5/20/02	FOR CITY COMMENTS
3	6/17/02	FOR CITY COMMENTS
4	11/16/02	AS-BUILT

DESIGN GROUP	PROJECT MANAGER	DESIGNED	CADD	CHECKED	DATE	FILE NAME
JENNIFER A. STEIG, P.E.	J. STEIG	H. ONG	J. STEIG	J. STEIG	3/05/02	PPAST7A02

ROAD AND STORM DRAINAGE PROFILE

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK WASHINGTON



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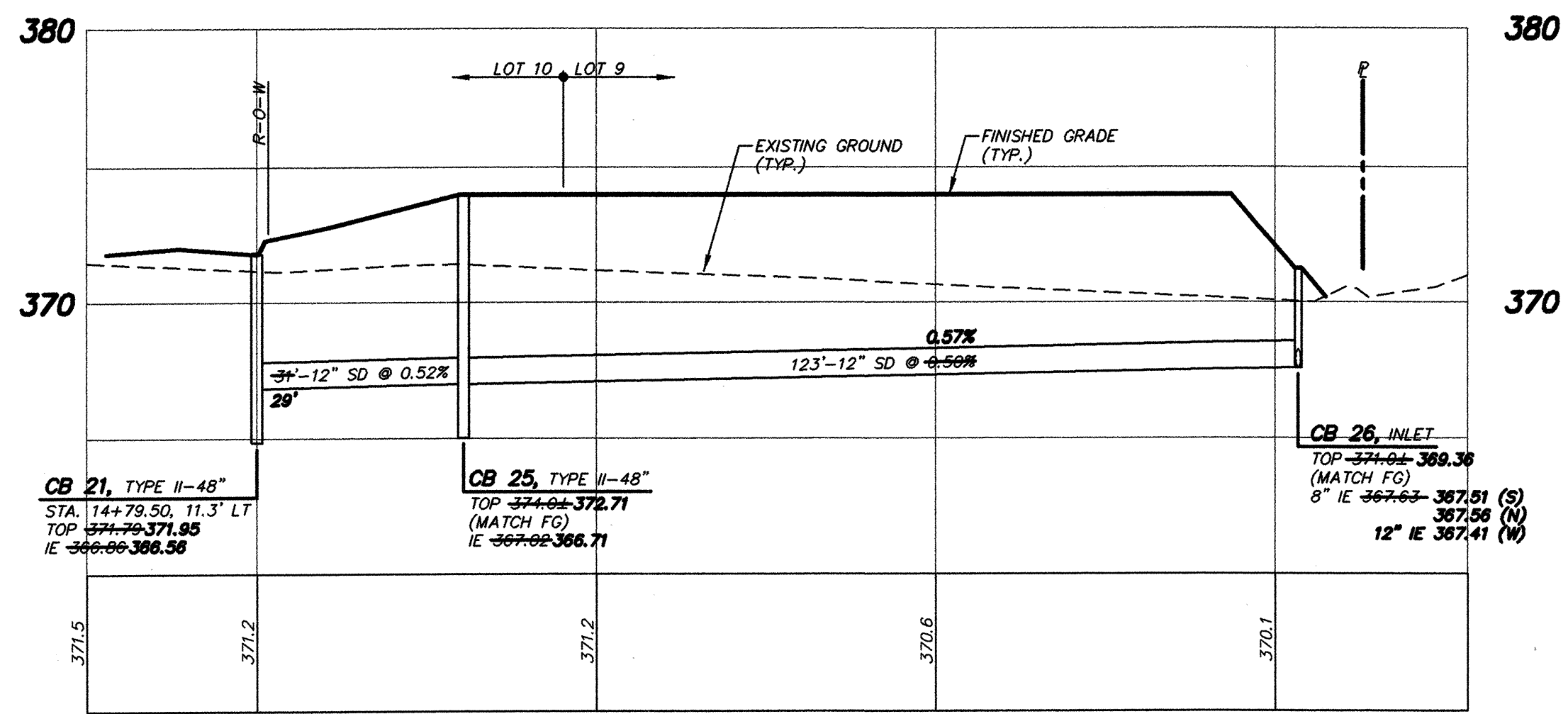
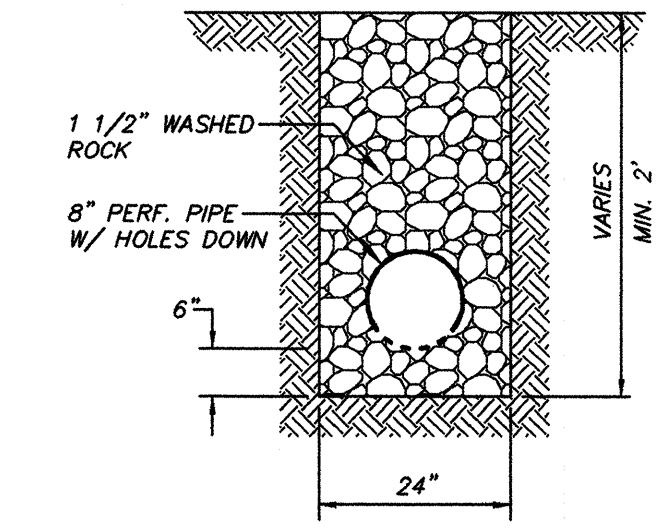
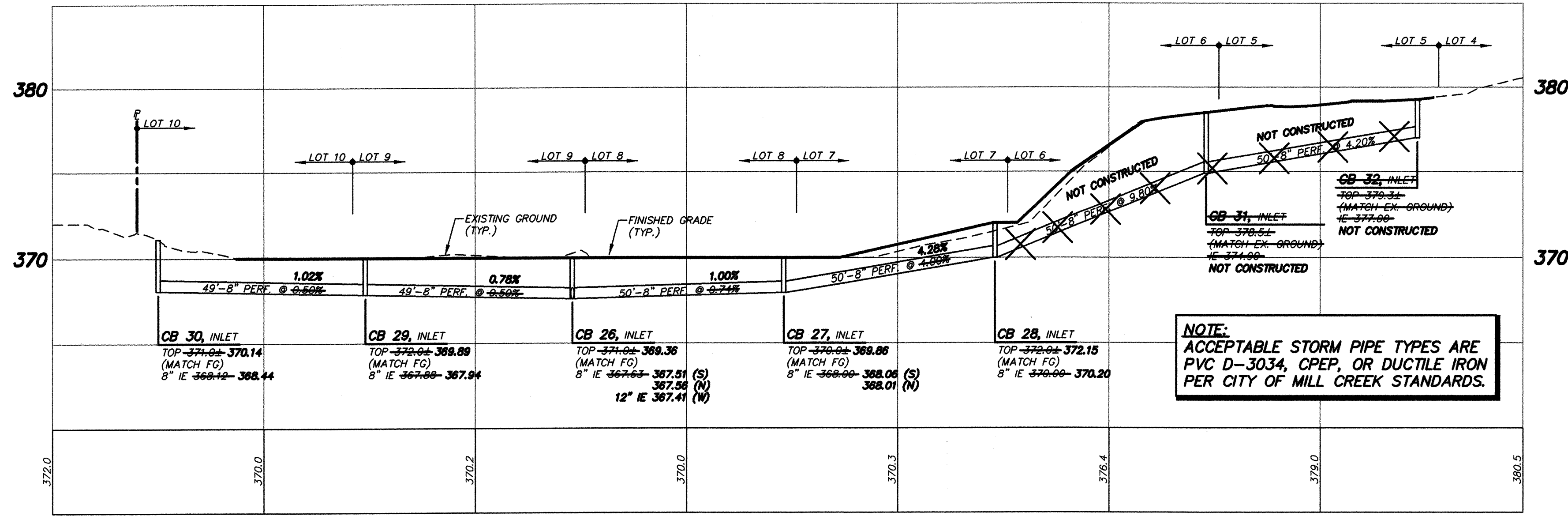
**PETERSON CONSULTING ENGINEERS**

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Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER **STAF-0002**

SHEET NUMBER **19<sup>AB</sup> OF 25**

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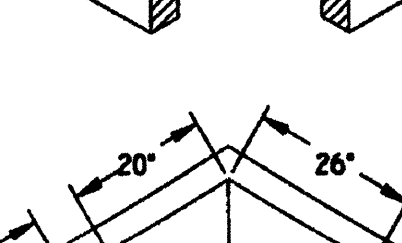
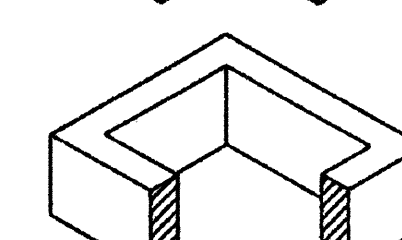
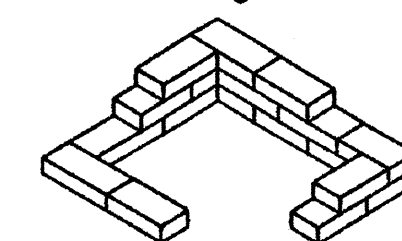
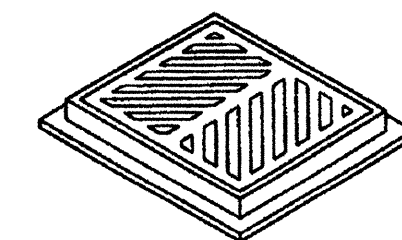


TYPICAL VANE GRATE OR AS APPROVED BY THE CITY ENGINEER

2"x4"x8" SOLID CONCRETE BRICKS USED FOR FINAL GRADE ADJUSTMENT. MAX. 3 BRICK (6") HIGH.

6" OR 12" CONCRETE RISER SECTION. CLASS 4000 CONCRETE.

PRECAST CONCRETE BASIN SECTION. MIN. WALL SECTION OF 4".



**NOTES:**

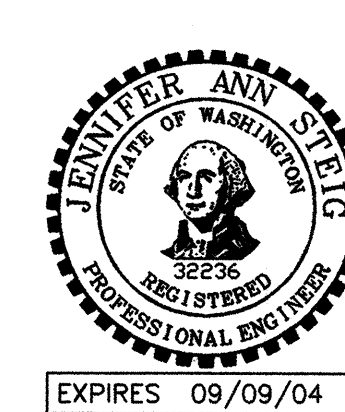
1. BASE TO BE CONSTRUCTED IN ACCORDANCE WITH WSDOT/APWA SPECIFICATIONS OR AS APPROVED BY THE CITY ENGINEER.
2. REINFORCING SHALL BE EQUIVALENT TO WELDED WIRE FABRIC HAVING A MINIMUM AREA OF 0.12 SQUARE FEET PER FOOT. FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
3. ALL SIDE ACCESS INTO THE BASE SHALL BE THROUGH A PRECAST KNOCKOUT.
4. BOTTOM OF THE BASE MAY BE ROUNDED.
5. KNOCKOUTS SHALL HAVE A THICKNESS NOT LESS THAN 2 INCHES.
6. GRATE TYPE SHALL TYPICALLY BE VANE TYPE UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER.
7. FRAME MAY BE INSTALL INVERTED TO MAKE FINAL GRADE ADJUSTMENT.
8. Catch Basin standard frame and grate shall be 18" x 24" ductile iron vane grate with H20 load rating.

**INLET**

**INLET DETAIL**  
NOT TO SCALE

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CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE \_\_\_\_\_

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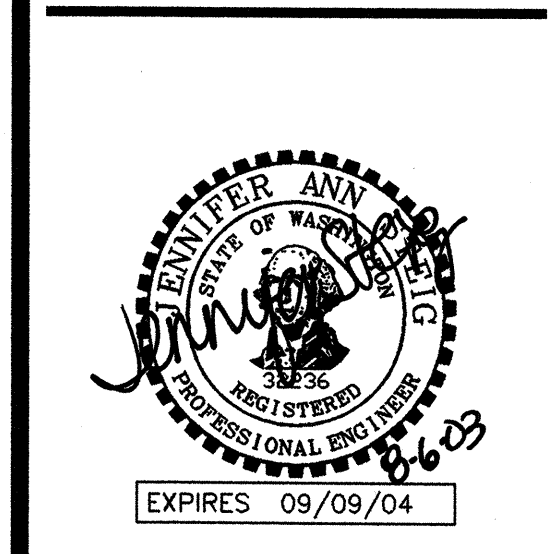
NO.	DATE	REVISION
1	4/12/03	PER CITY COMMENTS
2	6/20/03	PER CITY COMMENTS
3	6/17/03	REV. STORM PER FIELD CONDITION
4	11/16/03	AS-BUILT
5	8/9/03	REVISED AS-BUILT PER CITY COMMENTS

DESIGN GROUP  
REINHEIMER & STEIG, P.E.PROJECT MANAGER:  
J. STEIG  
DESIGNER:  
H. ONG  
CADD:  
J. STEIG  
CHECKED:  
3/05/02  
DATE:  
RPS/STAD/2  
FILE NAME:

**BACKYARD DRAIN PROFILES AND DETAILS**

**THE VINEYARDS AT MILL CREEK**

WASHINGTON  
CITY OF MILL CREEK



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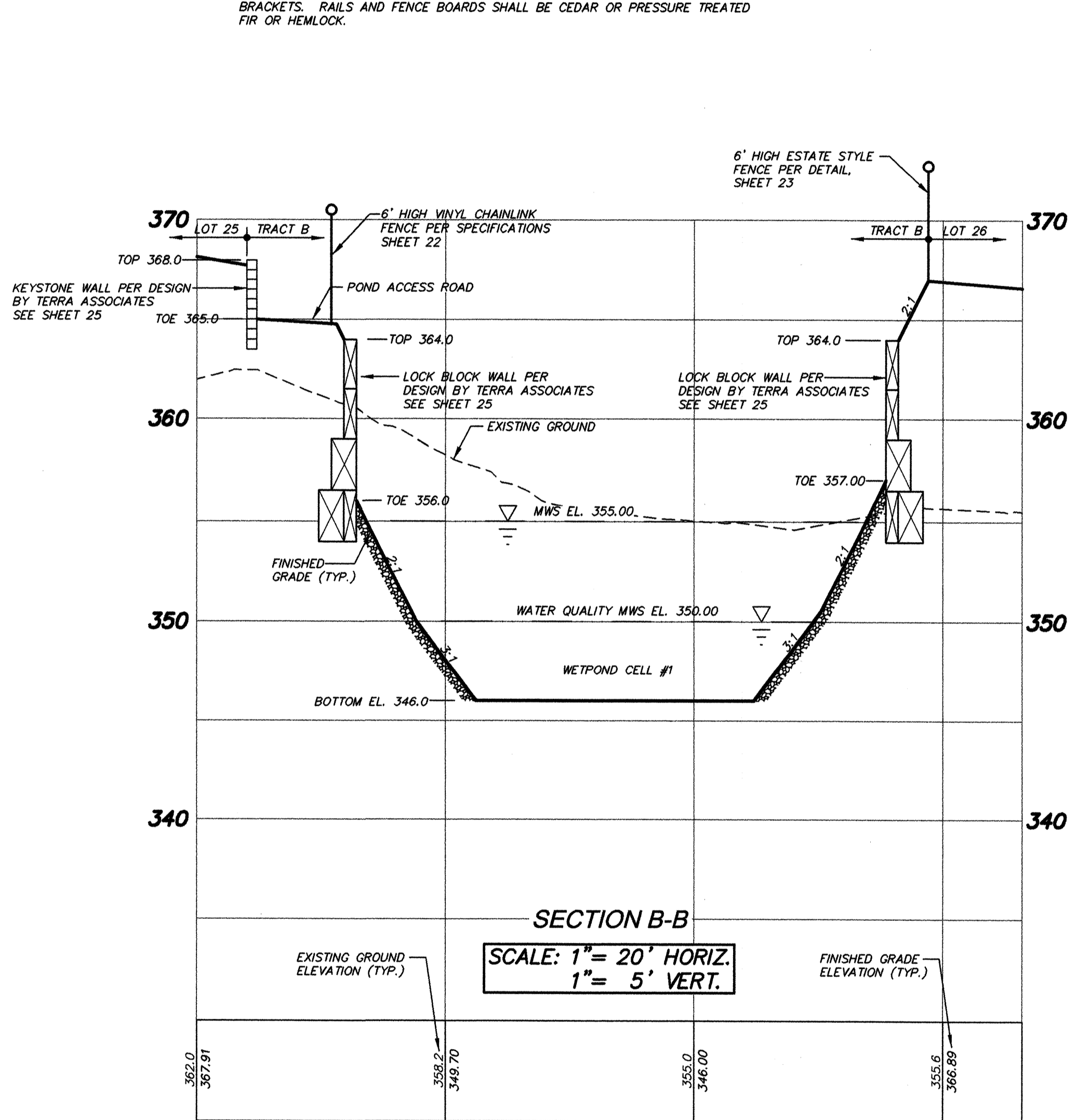
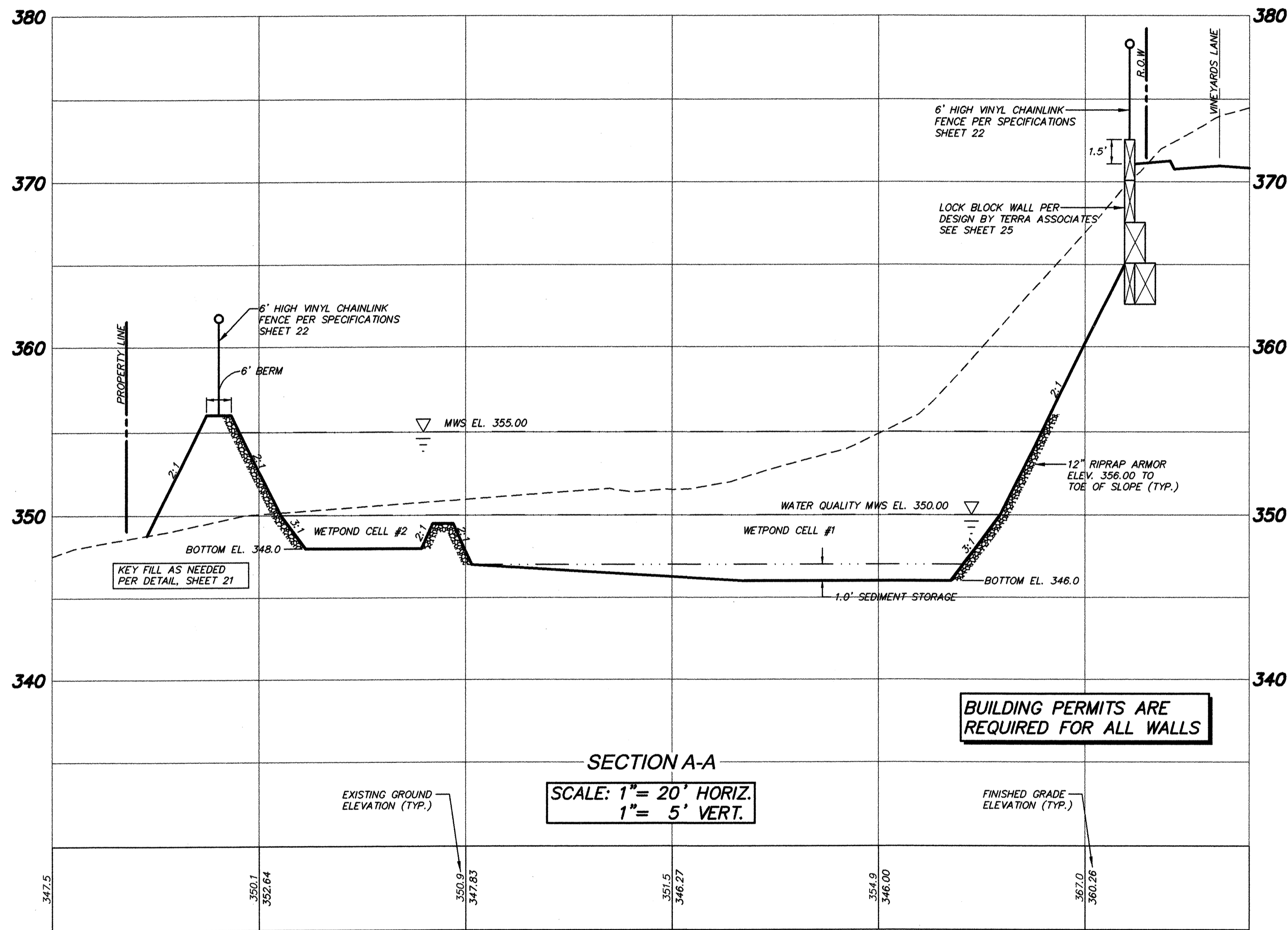
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JOB NUMBER: **STAF-0002**

SHEET NUMBER: **20<sup>th</sup> OF 25**

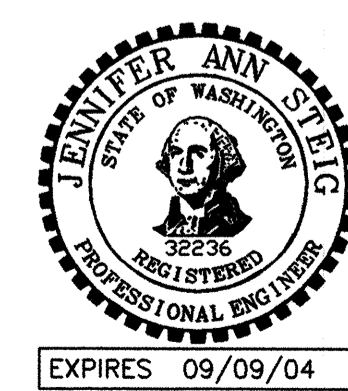




POND LOCATION AND ELEVATIONS HAVE BEEN FIELD VERIFIED TO CONFIRM VOLUMES. THE POND BOTTOM IS AT OR BELOW THE DESIGN ELEVATIONS PROVIDED ON THE PLAN AND THE BERM MEETS OR EXCEEDS THE ELEVATIONS PROPOSED. THE VOLUME PROVIDED IS 57,951 OF WHICH PROVIDED A 39% FACTOR OF SAFETY. THE WATER QUALITY VOLUME PROVIDED IS 24,731 WHICH PROVIDES A 10% FACTOR OF SAFETY. THE POND IS CONSTRUCTED COMPLETELY WITHIN THE TRACT PROVIDED.

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- FENCING NOTES**
- CHAIN LINK FENCES SHALL BE THE HEIGHT INDICATED ON THE PLANS. FENCE TO BE PER WSDOT STD. DWG. L-2, TYPE 1 UNLESS OTHERWISE NOTED. FENCE GATE TO BE PER WSDOT STD. DWG. L-3.
  - ACCESS ROAD GATES SHALL BE 16 FEET IN WIDTH CONSISTING OF TWO SWINGING SECTIONS 8 FEET IN WIDTH.
  - PEDESTRIAN ACCESS GATES (IF NEEDED) SHALL BE 4 FEET IN WIDTH.
  - FENCE MATERIAL SHALL BE NO. 11 GALVANIZED STEEL FABRIC WITH BONDED VINYL COATING. VINYL COATING SHALL BE COMPATIBLE WITH THE SURROUNDING ENVIRONMENT (E.G. GREEN IN OPEN, GRASSY AREAS AND BLACK OR BROWN IN WOODED AREAS). FENCE POSTS SHALL BE GALVANIZED STEEL, WITH CAPS, AND SET A MINIMUM OF 3 FEET DEEP IN CONCRETE. CROSS BARS SHALL CONNECT ADJACENT FENCE POSTS. ALL POSTS, CROSS BARS AND GATES SHALL BE PAINTED OR COATED THE SAME COLOR AS THE VINYL CLAD FENCE FABRIC.
  - WOOD FENCES ARE ALLOWED IN SUBDIVISIONS WHERE THE FENCE WILL BE MAINTAINED BY HOMEOWNERS ASSOCIATIONS OR ADJACENT PROPERTY OWNERS. FENCE MAINTENANCE REQUIREMENTS SHALL BE A CONDITION OF SUBDIVISION AND A STATEMENT DETAILING MAINTENANCE RESPONSIBILITIES AND REQUIREMENTS MUST BE RECORDED.
  - WOOD FENCES SHALL HAVE PRESSURE TREATED (GROUND CONTACT) POSTS EITHER SET IN 24 INCH DEEP CONCRETE FOOTINGS OR ATTACHED TO FOOTINGS BY GALVANIZED BRACKETS. RAILS AND FENCE BOARDS SHALL BE CEDAR OR PRESSURE TREATED FIR OR HEMLOCK.

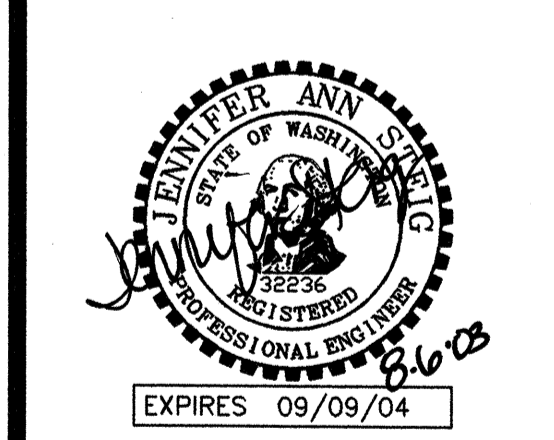
NO.	DATE	REVISION
1	4/12/02	PER CITY COMMENTS
2	5/20/02	PER CITY COMMENTS
3	6/17/02	PER CITY COMMENTS
4	11/19/02	AS-BUILT
5	8/8/03	REVISED AS-BUILT PER CITY COMMENTS

DESIGN GROUP: JENNIFFER A. STEIG, P.E.  
PROJECT MANAGER: J. STEIG  
DESIGNED: J. STEIG  
CHECKED: J. LONG  
DATE: 3/20/02  
RDISTANZ  
FILE NAME: WASHINGTON

DETENTION FACILITY DETAIL - CROSS SECTION  
TRACT B

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK



STAMP NOT VALID UNLESS SIGNED AND DATED

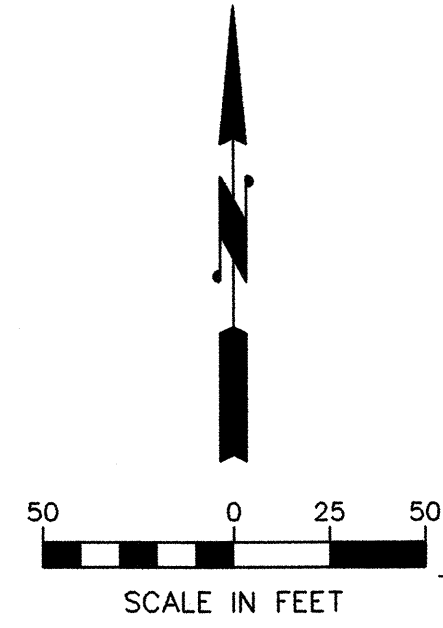
**PETERSON CONSULTING ENGINEERS**

4030 Lake Washington Blvd. N.E., Suite 200  
Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

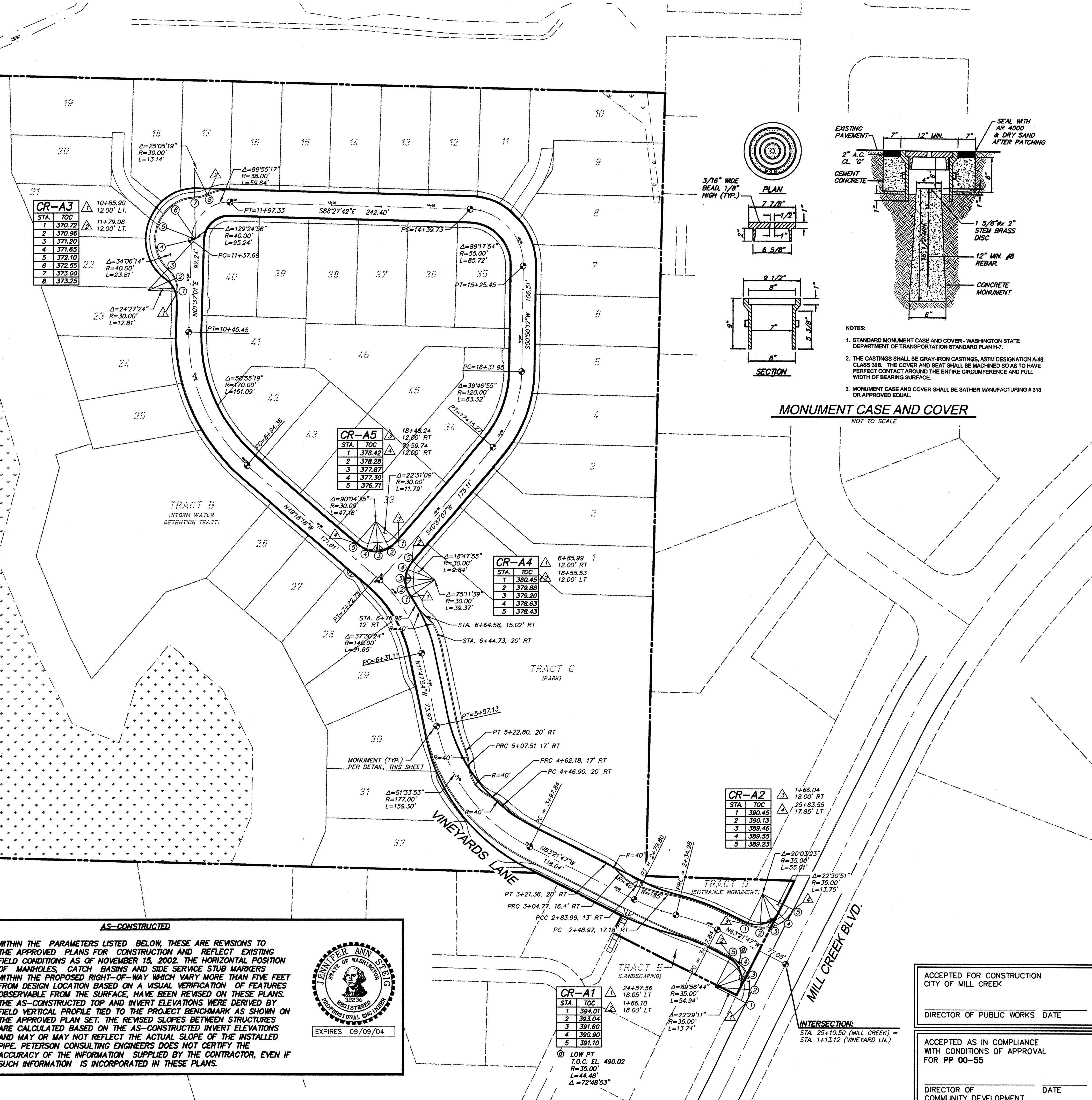
JOB NUMBER: STAF-0002  
SHEET NUMBER: 22<sup>AB</sup> OF 25







BOTHELL-EVERETT HWY. (SR-527)



**CR-A3**

STA.	TOC
1	370.72
2	370.98
3	371.20
4	371.65
5	372.10
6	372.55
7	373.00
8	373.25

10+85.90  
12.00' LT.  
11+79.08  
12.00' LT.  
Δ=25°05'17"  
R=30.00'  
L=13.14'  
Δ=89°55'17"  
R=38.00'  
L=59.64'  
Δ=129°24'36"  
R=40.00'  
L=95.24'  
PC=11+37.68  
PT=11+97.33  
S88°27'42"E 242.40'  
PB=14+39.73  
Δ=99°17'54"  
R=55.00'  
L=85.72'  
PT=15+25.45  
Δ=34°06'14"  
R=40.00'  
L=23.81'  
Δ=24°27'24"  
R=30.00'  
L=12.81'  
Δ=59°55'19"  
R=170.00'  
L=151.09'  
PC=16+31.93  
PT=17+52.24  
Δ=39°46'55"  
R=120.00'  
L=83.32'  
PC=12+15.22  
PT=12+52.24  
Δ=90°04'35"  
R=30.00'  
L=47.16'  
Δ=18°47'55"  
R=30.00'  
L=9.84'  
Δ=75°11'39"  
R=30.00'  
L=39.37'  
Δ=90°04'35"  
R=30.00'  
L=47.16'  
Δ=37°30'24"  
R=148.00'  
L=91.65'  
Δ=51°33'53"  
R=177.00'  
L=159.30'

**CR-A5**

STA.	TOC
1	378.42
2	378.28
3	377.87
4	377.30
5	376.71

18+46.24  
12.00' RT  
16+59.74  
12.00' RT  
Δ=22°31'09"  
R=30.00'  
L=11.79'  
Δ=90°04'35"  
R=30.00'  
L=47.16'  
Δ=18°47'55"  
R=30.00'  
L=9.84'  
Δ=75°11'39"  
R=30.00'  
L=39.37'

**CR-A4**

STA.	TOC
1	380.45
2	378.88
3	379.20
4	378.63
5	378.43

6+85.99  
12.00' RT  
18+55.53  
12.00' LT  
Δ=18°47'55"  
R=30.00'  
L=9.84'  
Δ=75°11'39"  
R=30.00'  
L=39.37'

**CR-A2**

STA.	TOC
1	390.45
2	390.13
3	389.46
4	388.55
5	388.23

1+66.04  
18.00' RT  
25+63.55  
17.85' LT  
Δ=90°03'23"  
R=35.00'  
L=55.91'  
Δ=22°30'51"  
R=35.00'  
L=13.75'

**CR-A1**

STA.	TOC
1	394.01
2	393.04
3	391.60
4	390.90
5	391.10

24+57.56  
18.05' LT  
14+66.10  
18.00' LT  
Δ=89°56'44"  
R=35.00'  
L=54.94'  
Δ=22°29'11"  
R=35.00'  
L=13.74'

LOW PT  
T.O.C. EL. 490.02  
R=35.00'  
L=44.48'  
Δ=72°48'53"

**AS-CONSTRUCTED**

WITHIN THE PARAMETERS LISTED BELOW, THESE ARE REVISIONS TO THE APPROVED PLANS FOR CONSTRUCTION AND REFLECT EXISTING FIELD CONDITIONS AS OF NOVEMBER 15, 2002. THE HORIZONTAL POSITION OF MANHOLES, CATCH BASINS AND SIDE SERVICE STUB MARKERS WITHIN THE PROPOSED RIGHT-OF-WAY WHICH VARY MORE THAN FIVE FEET FROM DESIGN LOCATION BASED ON A VISUAL VERIFICATION OF FEATURES OBSERVABLE FROM THE SURFACE, HAVE BEEN REVISED ON THESE PLANS. THE AS-CONSTRUCTED TOP AND INVERT ELEVATIONS WERE DERIVED BY FIELD VERTICAL PROFILE TIED TO THE PROJECT BENCHMARK AS SHOWN ON THE APPROVED PLAN SET. THE REVISED SLOPES BETWEEN STRUCTURES ARE CALCULATED BASED ON THE AS-CONSTRUCTED INVERT ELEVATIONS AND MAY OR MAY NOT REFLECT THE ACTUAL SLOPE OF THE INSTALLED PIPE. PETERSON CONSULTING ENGINEERS DOES NOT CERTIFY THE ACCURACY OF THE INFORMATION SUPPLIED BY THE CONTRACTOR, EVEN IF SUCH INFORMATION IS INCORPORATED IN THESE PLANS.

ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK

DIRECTOR OF PUBLIC WORKS DATE

---

ACCEPTED AS IN COMPLIANCE  
WITH CONDITIONS OF APPROVAL  
FOR PP 00-55

DIRECTOR OF COMMUNITY DEVELOPMENT DATE

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4	11/16/02	AS-BUILT
5	6/9/03	REVISED AS-BUILT PER CITY COMMENTS

DESIGN GROUP  
JENNIFER A. STEIG, P.E.  
PROJECT MANAGER  
L. STEIG  
DESIGNED  
H. ONG  
CALC.  
J. STEIG  
CHECKED  
3/20/02  
DATE  
ALISTAUZ  
FILE NAME

ROADWAY AND CURB ALIGNMENT PLAN

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK

WASHINGTON

EXPIRES 09/09/04

STAMP NOT VALID  
UNLESS SIGNED AND DATED

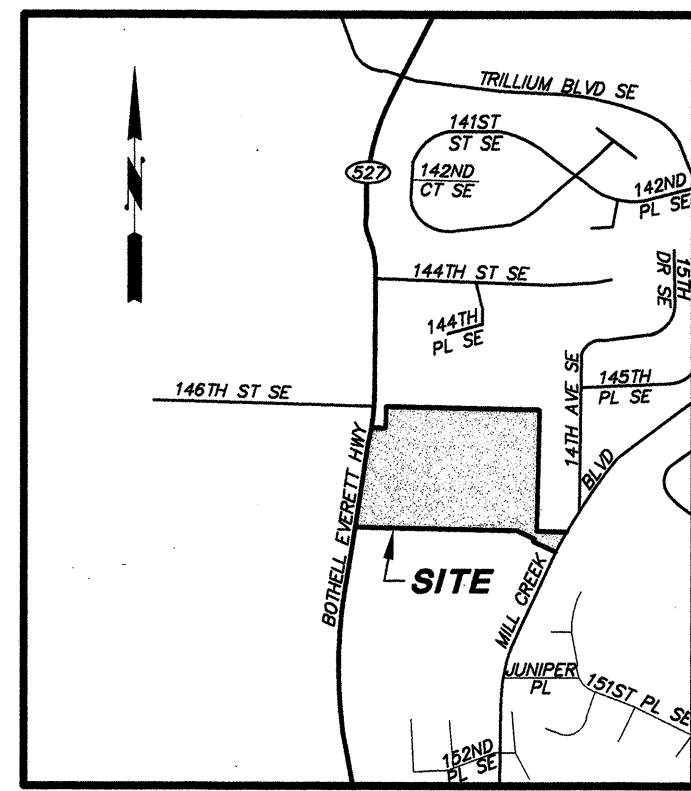
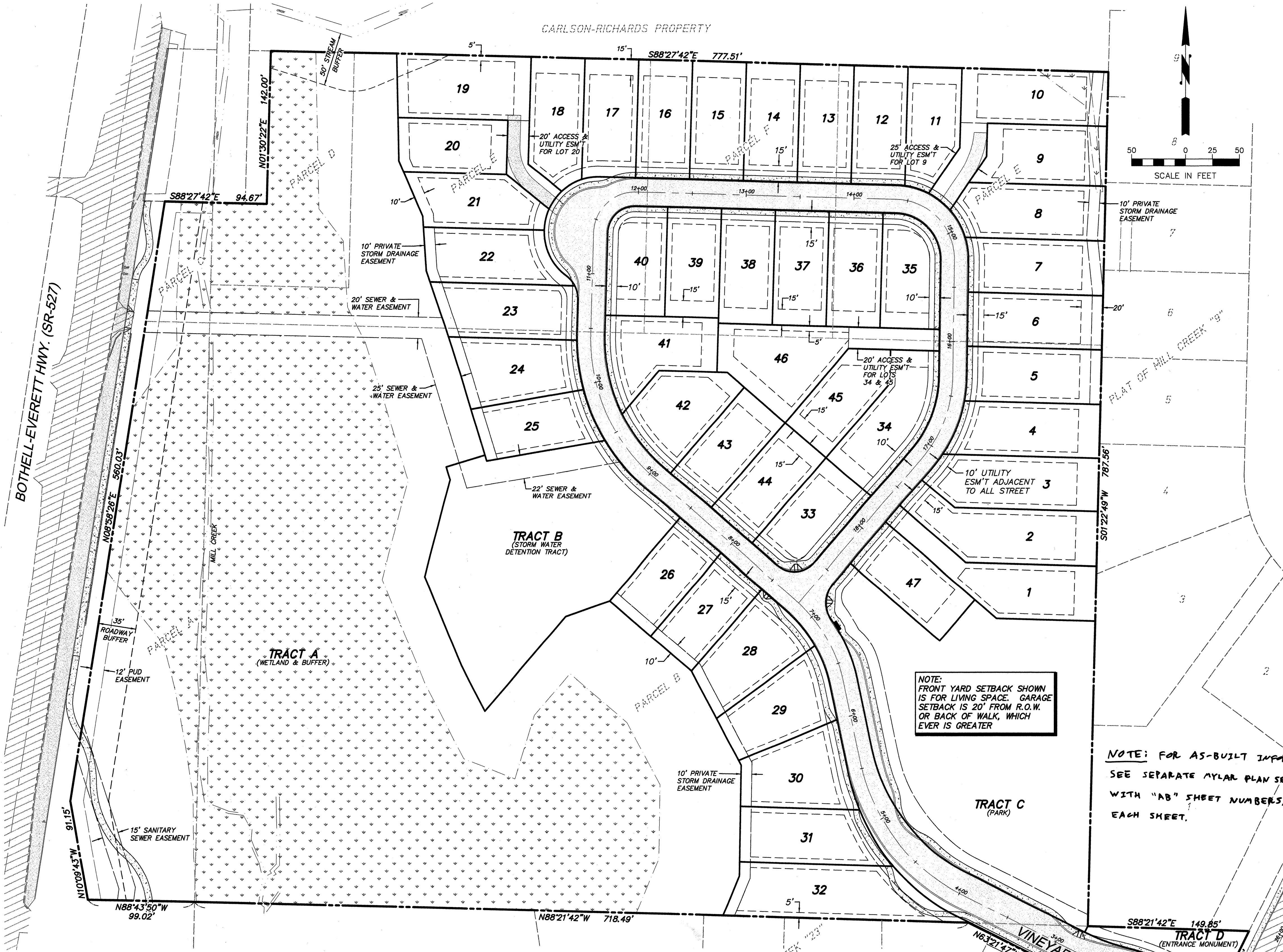
**PETERSON CONSULTING ENGINEERS**

4030 Lake Washington Blvd. N.E., Suite 200  
Kirkland, WA 98033  
Tel (425) 827-5874  
Fax (425) 822-7216

JOB NUMBER  
**STAF-0002**

SHEET NUMBER  
**24<sup>th</sup> OF 25**

# THE VINEYARDS AT MILL CREEK



VICINITY MAP  
NOT TO SCALE

**CONTACT LIST**

**OWNER/DEVELOPER:** STAFFORD HOMES  
12931 NE 126th PLACE  
KIRKLAND, WASHINGTON 98034  
(425) 821-3400  
CONTACT: BOB STOKKE

**ENGINEER:** PETERSON CONSULTING ENGINEERS, INC.  
4030 LAKE WASHINGTON BLVD NE SUITE 200  
KIRKLAND, WASHINGTON 98033  
(425) 827-5874  
CONTACT: JENNIFER STEIG, P.E.

**SURVEYORS:** PRELIMINARY PLAT: MEAD GILMAN & ASSOC.  
P.O. BOX 289  
WOODINVILLE, WASHINGTON 98072  
(425) 486-1252

**BOUNDARY & TOPO:** EASTSIDE CONSULTANTS, INC.  
415 RAINIER BLVD. N.  
ISSAQUAH, WASHINGTON 98027  
(206) 392-5351

**BENCHMARKS AND DATUM**

**VERTICAL DATUM:** NAVD 1929, TBM 353-619 PK NAIL AS SHOWN ON THE PROPOSED PLAT OF MERRILL GARDENS AT MILL CREEK.

**BASIS OF BEARING:** HOLDING THE EAST PROPERTY LINE TO A BEARING OF N122°48'E AS SHOWN ON THE PLAT OF MILL CREEK No.9, AS FILED UNDER RECORDING No. 8210085008.

**LEGAL DESCRIPTION**

**PARCEL A:**  
THAT PORTION OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M. IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE QUARTER CORNER ON THE SOUTH LINE OF SAID SECTION;  
THENCE NORTH ALONG THE NORTH AND SOUTH CENTERLINE OF SAID SECTION 544 FEET;  
THENCE WEST 103.34 FEET, MORE OR LESS TO CENTERLINE OF PACIFIC HIGHWAY (ALSO KNOWN AS SR 527);  
THENCE SOUTHERLY ALONG SAID HIGHWAY 316.7 FEET, MORE OR LESS TO AN INTERSECTION WITH THE CENTERLINE OF THE OLD BOTHELL ROAD;  
THENCE ANGLE LEFT ALONG SAID ROAD 240 FEET, MORE OR LESS TO THE SOUTH LINE OF SECTION;  
THENCE EAST ALONG THE SOUTH LINE OF SECTION, 98.90 FEET, MORE OR LESS TO THE PLACE OF BEGINNING;  
EXCEPT ANY PORTION THEREOF LYING WITH ROADS KNOWN AS SR 527 AND OLD BOTHELL ROAD.

**PARCEL B:**  
THAT PORTION OF THE WEST 25 ACRES OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M. IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 31;  
THENCE NORTH 534 FEET ON THE NORTH AND SOUTH CENTERLINE OF SAID SECTION;  
THENCE EAST 825 FEET, MORE OR LESS TO THE EAST LINE OF THE WEST 25 ACRES OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER;  
THENCE SOUTH 534 FEET TO THE SOUTH LINE OF SAID SECTION 31;  
THENCE WEST ALONG SAID SOUTH LINE TO POINT OF BEGINNING;  
EXCEPT THE SOUTH 30 FEET AND THE WEST 30 FEET THEREOF CONVEYED TO SNOHOMISH COUNTY FOR ROAD UNDER RECORDING NO. 181314.

**PARCEL C:**  
THE SOUTH 100 FEET OF THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 31, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE QUARTER CORNER OF THE SOUTH LINE OF SAID SECTION;  
THENCE NORTH 544 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE NORTH 242 FEET;  
THENCE WEST 37 FEET, MORE OR LESS, TO THE EASTERLY MARGIN OF THE PACIFIC HIGHWAY;  
THENCE SOUTHERLY ALONG THE EASTERLY MARGIN OF THE PACIFIC HIGHWAY TO A POINT DUE WEST OF THE POINT OF BEGINNING;  
THENCE EAST 73.34 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING;  
EXCEPT THAT PORTION THEREOF CONVEYED TO THE STATE OF WASHINGTON FOR WIDENING OF STATE ROUTE 527 BY DEED RECORDED UNDER RECORDING NO. 199908310333.

**PARCEL D, E & F:**  
THAT PORTION OF THE WEST 25 ACRES OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M. IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 31;  
THENCE NORTH 534 FEET ON THE NORTH AND SOUTH CENTER LINE OF SAID SECTION TO THE TRUE POINT OF BEGINNING;  
THENCE EAST 825 FEET, MORE OR LESS, TO THE EAST LINE OF SAID 25 ACRE TRACT;  
THENCE NORTH 252 FEET;  
THENCE WEST 825 FEET, MORE OR LESS, TO THE NORTH AND SOUTH CENTER LINE OF SAID SECTION;  
THENCE SOUTH 252 FEET ALONG SAID CENTER LINE TO THE POINT OF BEGINNING;  
EXCEPT THE WEST 50 FEET OF THE NORTH 142 FEET THEREOF, ALSO EXCEPT ROADS.

**PARCEL G:**  
THAT PORTION OF TRACT 2 OF MILL CREEK - 21, ACCORDING TO PLAT RECORDED IN VOLUME 63 OF PLATS AT PAGE(S) 222 AND 223 UNDER RECORDING NO. 9705015002, IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT 2;  
THENCE SOUTH 26°38'52" WEST ALONG THE EASTERLY LINE OF SAID TRACT 2 A DISTANCE OF 130.00 FEET;  
THENCE NORTH 63°21'08" WEST A DISTANCE OF 140.00 FEET;  
THENCE NORTH 26°38'52" EAST A DISTANCE OF 20.00 FEET; THENCE NORTH 63°21'08" WEST A DISTANCE OF 85.99 FEET TO THE NORTH LINE OF SAID TRACT 2;  
THENCE SOUTH 88°20'37" EAST ALONG SAID NORTH LINE A DISTANCE OF 260.38 FEET TO THE POINT OF BEGINNING.

**NOTE:** FRONT YARD SETBACK SHOWN IS FOR LIVING SPACE. GARAGE SETBACK IS 20' FROM R.O.W. OR BACK OF WALK, WHICH EVER IS GREATER.

**NOTE:** FOR AS-BUILT INFORMATION, SEE SEPARATE CYLAR PLAN SET WITH "AB" SHEET NUMBERS, TP EACH SHEET.

**LEGEND**

PROPOSED STORM DRAINAGE	
—	STORM DRAIN PIPE
—	STORM DRAINAGE SERVICE LINE
—	BOUNDARY
—	LOT LINE
—	RIGHT-OF-WAY
—	FLOW & CURB LINE
—	CENTER LINE
—	EASEMENT
—	BSBL
—	SWALE OR DITCH
—	FENCE
—	2' CONTOURS
—	10' CONTOURS
—	FILTER FENCE
—	AREA TO BE CLEARED
—	CLEARING LIMITS
●	CATCH BASIN, TYPE I
●	CATCH BASIN, TYPE II
●	CLEANOUT (SDCO)
●	SIGN
■	RIPRAP
■	ASPHALT PAVEMENT
■	EXISTING PAVEMENT
■	SIDEWALK
■	GRAVEL

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20	BACKYARD DRAIN PROFILES AND DETAILS
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22	STORMWATER FACILITY DETAILS - CROSS SECTIONS
23	GENERAL NOTES AND DETAILS
24	CURB ALIGNMENT PLAN
25	TERRA ASSOCIATES DETAILS

Call 2 Working Days Before You Dig  
**1-800-424-5555**  
Utilities Underground Location Center  
(ID,MT,ND,OR,WA)

ACCEPTED FOR CONSTRUCTION  
CITY OF MILL CREEK  
*J. M. Maudslayi* 6-21-02  
DIRECTOR OF PUBLIC WORKS DATE

ACCEPTED AS IN COMPLIANCE  
WITH CONDITIONS OF APPROVAL  
FOR PP 00-55  
*Bob Stokke* 6-21-02  
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DESIGN GROUP: JENNIFER A. STEIG, P.E.  
PROJECT MANAGER: J. STEIG  
DESIGNED: H. ONG  
CALLED: J. STEIG  
CHECKED: J. STEIG  
DATE: 6/21/02  
FILE NAME: C:\15102

**COVER SHEET**

**THE VINEYARDS AT MILL CREEK**

CITY OF MILL CREEK

WASHINGTON

JENNIFER ANN STEIG  
STATE OF WASHINGTON  
PROFESSIONAL SURVEYOR  
No. 19022  
EXPIRES 09/09/02

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JOB NUMBER: STAF-0002  
SHEET NUMBER: 1 OF 25